



Brighton City Council Meeting

Contact Information: City Hall • 200 N First St. • Brighton, Michigan 48116
(810) 227-1911 • www.brightoncity.org • info@brightoncity.org

TEMPORARY LOCATION: Brighton Community Center, 555 Brighton Street, Brighton, MI 48116

EARLY

Regular Meeting

July 15, 2021 – 6:30 p.m.

AGENDA

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Consider Approval of the Agenda
5. Consider Approval of Consent Agenda Items

Consent Agenda Items

- a. [Approval of Minutes: Study Session of July 1, 2021](#)
- b. [Approval of Minutes: Regular Session of July 1, 2021](#)

Correspondence

6. Call to the Public
7. Staff Updates
8. Updates from Councilmember Liaisons to Various Boards and Commissions

Public Hearing

9. Conduct a Public Hearing and Consider Possible Action for the Proposed Planned Unit Development, Site Plan # 21-06, West Village and Related PUD Agreement

New Business

10. [Consider Approval of Site Plan # 21-03, 1101 Rickett](#)
11. [Consider Approving the Purchase of a Combination Vacuum Street Sweeper from Bell Equipment Company in the Amount of \\$285,235](#)
12. [Consider Award of Bid to Titus Welding Company for the Rebuild of Return Activated Sludge \(RAS\) Pump #3 in an Amount Not to Exceed \\$143,600](#)
13. [Consider Approval of Resolution #2021-16 to Introduce First Reading and Set a Public Hearing of August 5, 2021 for Proposed Ordinance Number 596: Amendments to Chapter 54 of the City of Brighton Code of Ordinances](#)
14. Discussion and Consider Staff Direction Regarding Partial Advancement of Northwest Neighborhoods Streets Project into Phase II (State Street and Third Street)

Other Business

15. Call to the Public
16. Adjournment



City Council Study Session

200 N First St • City Hall Council Chambers • Brighton, Michigan 48116
(810) 227-1911 • www.brightoncity.org

This meeting was conducted electronically.

MINUTES OF THE STUDY SESSION OF THE BRIGHTON CITY COUNCIL HELD ON JULY 1, 2021

1. Call to Order

Mayor Pipoly called the study session to order at 6:30 p.m.

2. Roll Call

Present were Mayor Pipoly (City of Brighton, MI), Mayor Pro Tem Gardner, Councilmembers: Bohn (City of Brighton, MI), Emaus (City of Brighton, MI), Muzzin (City of Brighton, MI), Pettengill (City of Brighton, MI), and Tobbe (City of Brighton, MI).

Staff Present: City Manager Nate Geinzer, City Clerk Tara Brown, Community Development Manager Mike Caruso, Assistant to the City Manager Henry Outlaw, Chief Rob Bradford, Deputy DPS Director Corey Brooks, Regulatory Compliance Officer Josh Bradley, and Attorney Laura Genovich. There were six persons in the audience.

3. Consider Approval of the Agenda

Motion by Mayor Pro Tem Gardner, seconded by Councilmember Tobbe to approve the agenda as presented. **The motion carried without objection by roll call vote.**

4. Call to the Public

Mayor Pipoly opened the call to the public at 6:32 p.m.

Susan Bakhaus spoke regarding the proposed Rules of Procedure recommendations.

Mayor Pipoly closed the call to the public at 6:35 p.m.

5. Discussion of Rules of Procedure Task Force Recommendations

City staff, Councilmembers, and attorneys discussed, at length the recommendations by the Rules of Procedure Task Force. Several Councilmembers had reservations about the proposed ethics ordinance and would like to discuss further as well as the length of time for public to speak during the calls to public. City staff and attorneys will discuss the reservations with the Task Force.

6. Call to the Public

Mayor Pipoly opened the call to the public at 7:28 p.m. Hearing and seeing no comment, the call to the public was closed.

7. Adjournment

Motion by Councilmember Pettengill, seconded by Councilmember Emaus to adjourn the meeting at 7:28 p.m.

Tara Brown, City Clerk

Shawn Pipoly, Mayor



Brighton City Council Meeting

Contact Information: City Hall • 200 N First St. • Brighton, Michigan 48116
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This meeting was conducted electronically.

MINUTES OF THE REGULAR MEETING OF THE BRIGHTON CITY COUNCIL HELD ON JULY 1, 2021

1. Call to Order

Mayor Pipoly called the meeting to order at 7:30 p.m.

2. Pledge of Allegiance

Mayor Pro Tem Gardner led in the Pledge of Allegiance.

3. Roll Call

Present were Mayor Pipoly (City of Brighton, MI) and Mayor Pro Tem Gardner (City of Brighton, MI), Councilmembers: Bohn (City of Brighton, MI), Emaus (City of Brighton, MI), Muzzin (City of Brighton, MI), Pettengill (City of Brighton, MI), and Tobbe (City of Brighton, MI).

Staff Present: City Manager Nate Geinzer, City Clerk Tara Brown, Finance Director Gretchen Gomolka, Community Development Manager Mike Caruso, Human Resources Manager Michelle Miller, Assistant to the DPS Director Patty Thomas, Assistant to the City Manager Henry Outlaw, Deputy DPS Director Corey Brooks, Regulatory Compliance Officer Josh Bradley, Economic Development Coordinator Denise Murray, Chief Rob Bradford, Attorney Sarah Gabis, and Attorney Mike Homier. There were eight persons in the audience.

4. Consider Approval of the Agenda

Motion by Councilmember Emaus, seconded by Mayor Pro Tem Gardner to approve the agenda as amended, moving items d and e from the consent agenda to new business as items 8a and 8b. **The motion carried without objection by roll call vote.**

5. Consider Approval of Consent Agenda Items

Motion by Mayor Pro Tem Gardner, seconded by Councilmember Pettengill to approve the consent agenda as amended. **The motion carried without objection by roll call vote.**

Consent Agenda Items

- a. Approval of Minutes: Study Session of June 17, 2021
- b. Approval of Minutes: Regular Session of June 17, 2021
- c. Approval of Minutes: Closed Session of June 17, 2021
- d. ~~Authorization to Enter into Service and License Agreement with Pivot Point~~ moved to new business
- e. ~~Approval to Issue a Purchase Order to Graphic Sciences, Inc. for Continued Scanning Services Under a State Bid in an Amount Not to Exceed \$25,000~~ moved to new business
- f. Approval of the Crop Hunger Walk Civic Event Application
- g. Appointment to Various Boards and Commissions

Correspondence

6. Call to the Public

Mayor Pipoly opened the call to the public at 7:35 p.m. Hearing and seeing no comment, Mayor Pipoly closed the call to the public.

7. Staff Updates

Regulatory Compliance Superintendent Bradley updated City Council on the Northwest Neighborhood project along with upcoming preconstruction meetings and bid openings.

Finance Director Gomolka noted summer tax bills were mailed out and are due August 15, 2021. Different methods and locations for tax bill payment are on the back of the tax bill.

Human Resources Manager Miller stated there is currently an opening within the water department. All interested should visit the City website for more information.

Manager Geinzer would appreciate one or two Councilmember help with ongoing discussions surrounding Marijuana ordinances within the City. It was discussed that an agenda item be created to discuss at a future meeting.

8. Updates from Councilmember Liaisons to Various Boards and Commissions

Councilmember Pettengill stated the ZBA will meet to discuss one agenda item on July 8, 2021.

Mayor Pro Tem Gardner stated the BACC has not met.

Councilmember Muzzin stated the Brighton Area Fire Authority met to approve the contractor a new fire station on Weber Road.

New Business

8a. Authorization to Enter into Service and License Agreement with Pivot Point

Councilmember Emaus asked for the agenda item to be moved to new business for clarification on pricing.

Motion by Councilmember Emaus, seconded by councilmember Tobbe to approve the authorization to enter into service and license agreement with Pivot Point and the purchase of necessary equipment for a total of \$2,856.64. **The motion carried without objection by roll call vote.**

8b. Approval to Issue a Purchase Order to Graphic Sciences, Inc. for Continued Scanning Services Under a State Bid in an Amount Not to Exceed \$25,000

Councilmember Emaus asked for the agenda item to be moved to new business for clarification on pricing.

Motion by Councilmember Emaus, seconded by Councilmember Muzzin to issue a purchase order to Graphic Sciences, Inc. for continued scanning services under a state bid in an amount not to exceed \$25,000. **The motion carried without objection by roll call vote.**

9. Consider Approval of Resolution #2021-15 to Adopt a Social District, or Other Staff Direction

Motion by Councilmember Emaus, seconded by Councilmember Muzzin to approve of resolution #2021-15 to Adopt a Social District in the City of Brighton between the hours of 12:00 p.m. and 10:00 p.m. **The motion carried by roll call vote, with Councilmember Bohn voting no.**

10. Consider Staff Direction on Anticipated Robertson Brothers Donation

After discussion, City Council would like City staff to bring back proposals for donation options during a future Council Meeting.

Other Business

11. Call to the Public

Mayor Pipoly opened the call to the public at 8:51 p.m. Hearing and seeing no comment, the call to the public was closed.

12. Adjournment

Motion by Councilmember Pettengill, seconded by Councilmember Tobbe to adjourn the meeting at 8:51 p.m. **The motion carried without objection by roll call vote.**

Tara Brown, City Clerk

Shawn Pipoly, Mayor



City of Brighton

REPORT FROM THE CITY MANAGER TO CITY COUNCIL

July 15, 2021

SUBJECT: CONSIDER APPROVAL OF SITE PLAN 21-03, NEW COMMERCIAL BUILDING – 1101 RICKETT RD.

ADMINISTRATIVE SUMMARY

An application for site plan review has been submitted by AMAG, LLC, representing Dan Oginsky, for a new commercial building to be located at 1101 Rickett. The vacant property is on the east side of Rickett, just south of Sisu Knoll.

The applicant is proposing to construct a 9,063 square-foot structure, which would consist of office space and a storage/warehouse area. The applicant is combining two vacant parcels consisting of 1.8 acres in size, and zoned IB (Intermediate Industrial). The uses are permitted with the assigned zoning classification.

- The proposed development meets the intent of the Intermediate Industrial zone and is compliant with all regulations within this district.
- The applicant also meets the use standards specified within the future land use map designation of Light Industrial for this parcel, as described in the Comprehensive Master Plan.
- The proposed building and uses will have minimal impact on adjacent properties and neighboring districts. The office space is for the applicant's personal use and would accompany only a few employees.
- The applicant originally purchased one of the vacant parcels at the site for the proposed development. Due to size constraints of the property, he decided to purchase the adjacent vacant parcel, instead of seeking opportunities outside the City. Mr. Oginsky has other developments in the City, and believes strongly in building his roots here by investing in the City of Brighton.
- The Planning Commission granted a recommendation of approval at their special meeting held on July 7, 2021.

RECOMMENDATION

Staff is recommending to approve site plan 20-03 with the use of deferred parking language, as described in Section 98-5.6 (b)(4) of the zoning ordinance.

Prepared by: Michael Caruso, Community Development Manager

Reviewed &

Approved by: Nate Geinzer, City Manager

- Attachments:**
1. Application
 2. Site Plan
 3. Consultant Reviews
 4. Planning Commission Minutes (unapproved)



CITY OF BRIGHTON
Community Development/Planning Department

Date	3/8/21
Check #	3198
Amount	\$ 3800
Site Plan #	21-03

SITE PLAN REVIEW APPLICATION

Project: Heartmonic Holdings / All Heart Garage
Location: 1101 Rickett Road, Brighton MI 48116
Petitioner: AMAG, LLC

Instructions:

A. Initial Submittal and Review Meeting:

1. Submit the completed, original site plan review application, seven (7) signed and sealed sets of full size (24" x 36") drawings, an electronic version of the complete site plan, and applicable fees. All site plan submittal documents must be submitted to:

Brighton City Hall
200 N. First Street
Brighton, Michigan 48116
2. Review fees, property delinquencies and penalties shall be paid at the time the site plan review documents are submitted. * Initial review fees are the minimum fees required. Additional fees may be incurred. *
3. The meeting at which the Planning Commission will consider the site plan review application, drawings and other submittals will be determined when the site plan application is deemed complete. A meeting schedule is included on the last page of this packet. Any site plan review application submitted after the monthly deadline will not be considered for that month's agenda.
4. The information required on the site plan review application and drawings is the **minimum amount of information** that generally applies to all site plan review applications. Additional project specific information may also be required. Failure to submit information and materials will delay consideration of the site plan review application until such time they are submitted and found to be in acceptable form.
5. Generally one (1) week after the site plan review application submittal deadline, a site plan review meeting will be scheduled to consider staff and consultant input. * It will be determined by staff at this meeting whether the applicant will have an additional review meeting with staff and consultants. Additional meetings will be assessed applicable fees indicated on the planning and engineering fee schedules.



CITY OF BRIGHTON
Community Development/Planning Department

General Information:

Development Property Address: 1101 Rickett Road, Brighton MI 48116

Parcel(s) tax ID number(s): 4718-31-400-051

Lot Dimensions: N 164.23', E 332.31', S 179.29', W 183.66'

Net Acreage of site: 0.85 acres

Current Site Zoning: I-B (Intermediate Industrial)

Proposed Use of Development:

Office / Warehouse

Tenant(s) (if known):

Heartmonic Holdings, LLC

Number of proposed employees and/or residents: 2

Adjacent Zoning of Surrounding Properties:

N R-4 (Multiple Dwelling), E R-4 (Multiple Dwelling),

S I-B (Intermediate Industrial), W O-S (Office Service).

Multiple Family Developments: Number of Units N/A

Number of Buildings N/A

Percentage of Open Space/Wetlands N/A



CITY OF BRIGHTON
Community Development/Planning Department

Warranty of Petitioner (MUST BE COMPLETED BY PETITIONER):

The site plan submitted with this application contains the minimum amount of information required by the City. I understand that the proposed site plan will not be considered by the Planning Commission until such time that the plan contains at least the minimum amount of information required by the City, per **Section 98-6.1 (D)** of the City of Brighton Zoning Ordinance.

I understand that if the Planning Commission and City Council approve the proposed site plan that I am bound to construct the project in strict compliance with the approved plan. The attached site plan represents my intentions to develop the proposed project.

I (we) the undersigned, hereby make application for site plan approval for the following described property:

Development Property Address: 1101 Rickett Road, Brighton MI 48116

Parcel(s) tax ID number(s): 4718-31-400-051

Basis of representation of applicant (owner, architect, engineer, attorney, etc):

Architect

It is expected that, if site plan approval is granted, the construction will proceed as follows:

Construction will Begin: 5/1/21 Construction will be Completed: 9/30/21

I warrant to the City that neither I (we) or the subject property are in default to the City and that if a search of City records indicates a default of any kind, that the deficiency will be resolved prior to the Planning Commission's consideration of the proposed site plan.

I understand the approval of this site plan will be effective for one (1) year following the date of final approval by City Council.



David McLane, AIA, NCARB

Signature of Petitioner

Printed Name of Petitioner

Date: 3/5/21

Address: 4488 W. Bristol Rd., Ste. 200
Flint, MI 48507

Phone: (810) 230-9311

Email: dmclane@amagarch.com

I, the property owner, authorize the petitioner to submit this application for review by the Planning Commission.



Daniel Oginsky

Signature of Property Owner

Printed Name of Property Owner

Date: 3/5/21

Address: 5853 Hartford Way
Brighton, MI 48116

Phone: (810) 360-3768

Email: doginsky@heartmonicholdings.com

HEARTMONIC HOLDINGS / ALL HEART GARAGE

1101 RICKETT ROAD

BRIGHTON, MICHIGAN 48116

PROJECT SCOPE: NEW OFFICE AND VEHICLE STORAGE WAREHOUSE

PROJECT TEAM

OWNER
HEARTMONIC HOLDINGS, LLC
1101 Rickett Road
Brighton, Michigan 48116
Contact: Daniel Oginsky
Cell: (810) 360-3768
e-mail: doginsky@heartmonicholdings.com

ARCHITECT
AMAG, LLC
4488 West Bristol Road
Flint, Michigan 48501
Office: (810) 230-9311
Project Manager: Ray Embach
e-mail: rembach@amagarch.com
Contact: David McLane, AIA, NCARB
Cell: (810) 569-1082
e-mail: dmclane@amagarch.com

CONTRACTOR
SIWEK CONSTRUCTION
5020 Pilgrim Road
Flint, Michigan 48501
Phone: (810) 736-7843
Contact: Terry Mayberry, VP
Cell: (810) 691-5685
e-mail: tmayberry@siwekcc.com
Contact: Neal Phillips, PM
Cell: (614) 327-2498
e-mail: nphillips@siwekcc.com



CIVIL
FENTON LAND SURVEYING & ENGINEERING
14165 North Fenton Road
Fenton, Michigan 48430
Phone: (810) 354-8115
Contact: Rade Beslac
Cell: (810) 423-5014
e-mail: rade@fentonlse.com

APPROVAL AGENCIES

CITY OF BRIGHTON
COMMUNITY DEVELOPMENT
200 North First Street
Brighton, Michigan 48116
Phone: (810) 844-5149
Comm. Dev. Director: Michael Caruso
e-mail: carusom@brightoncity.org
DEPT. OF PUBLIC SERVICES
420 South Third Street
Brighton, Michigan 48116
Phone: (810) 225-8001
DPS Director: Marcel Goch
e-mail: gochm@brightoncity.org
Deputy DPS Director: Cory Brooks
e-mail: brooksc@brightoncity.org
TETRA TECH
1927 Nemco Way, Ste. 100
Brighton, Michigan 48116
Phone: (810) 220-2112
Civil Site Engineer: Kari Jozwik
e-mail: kari.jozwik@tetratech.com

LIVINGSTON COUNTY
LIVINGSTON COUNTY - BUILDING DEPT.
2300 East Grand Boulevard
Howell, Michigan 48843
Phone: (517) 546-3240
Building Official: Jim Rowell
e-mail: jrowell@livgov.com
Deputy Building Official: Rick Swanson
e-mail: rswanson@livgov.com

FIRE DEPARTMENT
BRIGHTON AREA FIRE DEPARTMENT
615 West Grand River Avenue
Brighton, Michigan 48116
Phone: (810) 229-6640
Fire Marshal: Rick Boisvert, FM, CFFS
Direct: (810) 299-0033
e-mail: rboisvert@brightonareafire.com

SITE REVIEW

LOCAL ORDINANCE: CITY OF BRIGHTON ZONING ORDINANCE.

ZONING: 'I-B' (INTERMEDIATE INDUSTRIAL)

ZONING ADJACENCIES: NORTH & EAST: 'R-4' (MULTIPLE DWELLING - RESIDENTIAL); WEST: 'O-5' (OFFICE SERVICE); SOUTH: 'I-B' (INTERMEDIATE INDUSTRIAL)

BUILDING AREA: BUILDING FOOTPRINT (INCLUSIVE OF EXTERIOR WALLS): 9,063SF
BUILDING AREA (EXCLUSIVE OF EXTERIOR WALLS): 8,580SF

PROPERTY INFO: PROPERTY AREA (GROSS): 1.80 ACRES (78,441 SF)
PROPERTY AREA (EXCLUDING R/W): 1.49 ACRES (64,968 SF)
TOTAL IMPERVIOUS LOT COVERAGE: 21,469SF / 64,968SF = 33%
LOT AREA (MIN): NONE SPECIFIED.
LOT WIDTH (MIN): NONE SPECIFIED.
LOT COVERAGE (MAX): NONE SPECIFIED.
FRONT YARD SETBACK: 50 FEET. (ZBA APPROVED 24' ON 2/25/21)
SIDE YARD SETBACKS: 25 FEET.
REAR YARD SETBACK: 25 FEET. (NOT APPLICABLE DUE TO ADJACENT R/R TRACKS)
REAR YARD EASEMENT RESTRICTION: 25 FEET DUE TO OVERHEAD POWER LINES

SITE REQUIREMENTS: (SECTION 98-3.18)
BUILDING HEIGHT (MAX.): 3-STORIES NOT TO EXCEED 45'.
LANDSCAPING: COMPLIANCE WITH THE REQUIREMENTS OF SECTION 98-5.7.
SITE/BUILDING SIGNAGE: COMPLIANCE WITH THE REQUIREMENTS OF SECTION 66-98.
BUILDING FACADE FINISHES, SPLIT-FACE CMU, METAL SIDING & COMPOSITE CLADDING.
BUILDING ROOF: EPDM MEMBRANE ROOF.

DESIGN REGULATIONS: PARKING SPACES (SECTION 98-5.6):
OFFICE / LIMITED BUSINESS: ONE FOR EACH 1,000SF OF FLOOR AREA:
1,755SF / 1,000SF = 2 SPACES
WAREHOUSE SPACE: ONE FOR EACH EMPLOYEE ON LARGEST SHIFT PLUS 1 FOR EACH 200SF OF OFFICE RECEPTION AREA: 2 EMPLOYEES + NO RECEPTION = 2 SPACES.
TOTAL PARKING SPACES REQUIRED: 4 SPACES (5 PROVIDED).
PARKING SPACE SIZE: 9' x 20'
SITE LIGHTING (98.5.4): COMPLIANCE WITH REQUIREMENTS.
SITE PHOTOMETRICS: PROVIDED.
LOADING AREA (SECTION 98.5.6(C.2)): NONE REQUIRED PER USE.

BUILDING CODE REVIEW

BUILDING CODES: MICHIGAN BUILDING CODE - 2015
BARRIER FREE - ICC/ANSI A117.1 - 2009
MECHANICAL CODE - 2015
PLUMBING CODE - 2015
ELECTRICAL CODE: NEC - 2011 (w/ PART 8 AMENDMENTS)
MICHIGAN FIRE CODE - 2015

USE GROUP: 'B' (BUSINESS) SECTION 304.1 AND 'S-1' (MODERATE-HAZARD STORAGE) SECTION 311.2

CONSTRUCTION TYPE: VB (SECTION 602.5 & TABLE 601)

BUILDING AREA: TABULAR ALLOWED: 9,000SF w/o AREA MODIFICATIONS.
INCREASE DUE TO FRONTAGE: $1f = \frac{F-P-0.25}{W/30} = \frac{471/471-0.25}{30/30} = 1.75 \times 9,000SF = 15,750SF$
BUILDING FOOTPRINT (INCLUSIVE OF EXTERIOR WALLS): 8,983SF
BUILDING AREA (EXCLUSIVE OF EXTERIOR WALLS): 8,580SF
TABULAR ALLOWED: 'B' & 'S-1' USES: 40' (TABLE 504.3).
'B' USE: 2-STORIES; 'S-1' USE: 1-STORY (TABLE 504.4)
PROPOSED BUILDING HEIGHT: 22'-0"

BUILDING HEIGHT: 'B' USE: 1,755SF / 1,000SF/OCCUPANT = 18 OCCUPANTS. (TABLE 1004.1.2)
'S-1' USE: 1,228SF / 500SF/OCCUPANT = 15 OCCUPANTS. (TABLE 1004.1.2)
NO AUTOMATIC SPRINKLER SYSTEM REQUIRED. (SECTION 903)

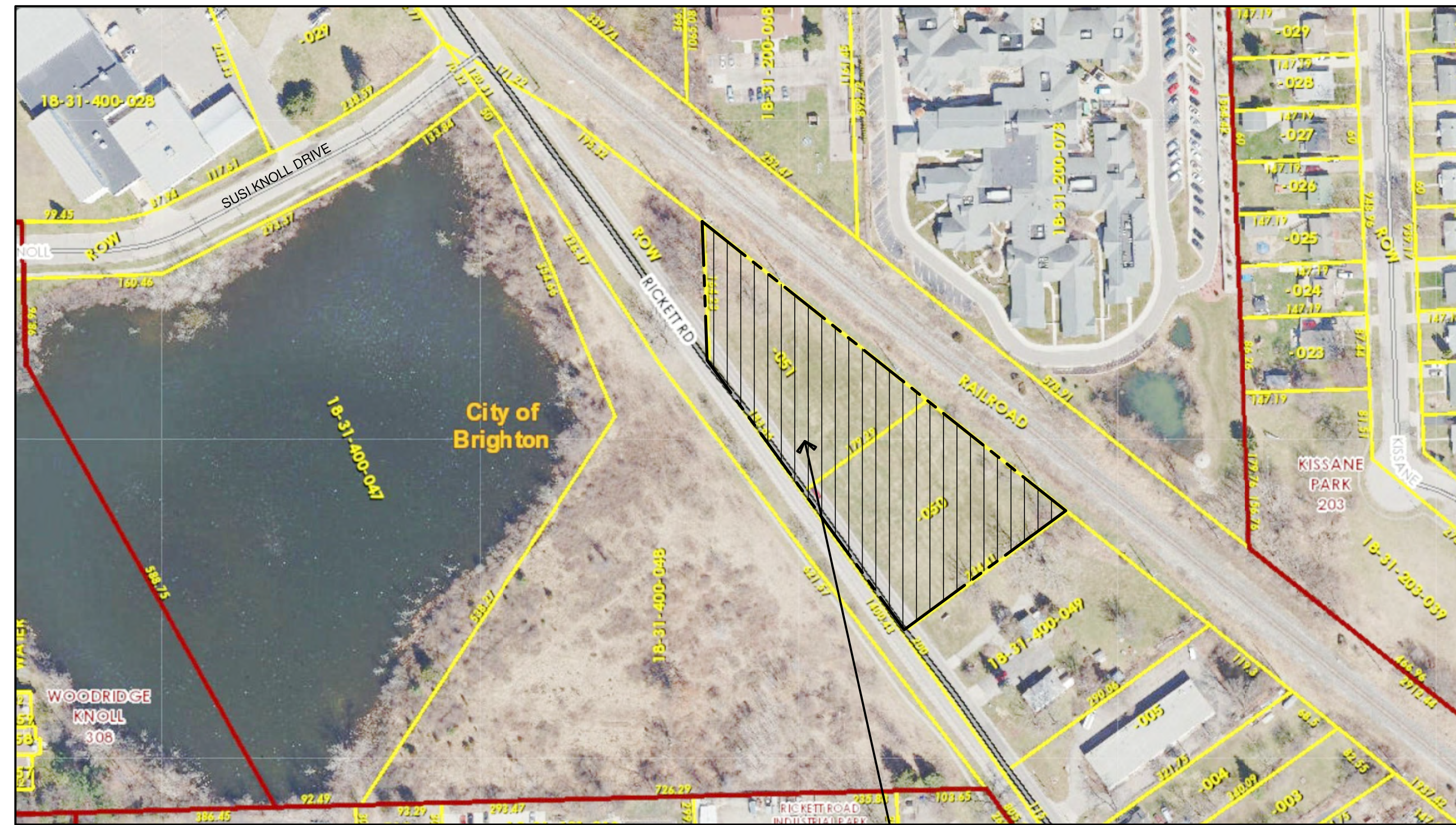
OCCUPANT LOAD: MIN. NUMBER REQUIRED (TABLE 1006.3.2(2) & 1006.2.1): TWO REQUIRED & PROVIDED.
EGRESS WIDTH (SECTION 1005.1): 0.2"/PERSON (10/DOOR*0.2) = 2'/EXIT REQUIRED (36"/DOOR PROVIDED).
LIGHTING/SIGNAGE: PROVIDED AS REQUIRED.
PANIC HARDWARE (SECTION 1010.11.0): NONE REQ'D. OCCUPANT LOAD LESS THAN 50.
COMMON PATH EGRESS TRAVEL DIST. (TABLE 1006.3.2(2) & 1006.2.1): 15 FEET MAX.
EXIT ACCESS TRAVEL DIST. (TABLE 1017.2): 200 FEET MAX.
CORRIDOR FIRE-RESISTANCE RATING (TABLE 1020.1): NOT APPLICABLE.

ACCESSIBILITY: PARKING (TABLE 1106.1 & SECTION 1106.5): ONE SPACE REQUIRED FOR EVERY 25 PARKING SPACES PROVIDED. FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE.
ENTRANCE (SECTION 1105): AT LEAST 60 PERCENT OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE.
ROUTE (SECTION 1104): AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED.
TOILET/SINKS/FIXTURES (SECTION 1109): COMPLIANCE AS REQUIRED.
SIGNAGE (SECTION 1111): COMPLIANCE AS REQUIRED.

PLUMBING FIXTURES: TOILET (TABLE 403.1): MEN/WOMEN TOILET: 1 PER 25 FOR FIRST 50 OCCUPANTS.
LAVATORIES (TABLE 403.1): MEN/WOMEN LAVATORIES: 1 PER 40 FOR FIRST 80 OCCUPANTS.
DRINKING FOUNTAINS (TABLE 403.1): 1 PER 100 OCCUPANTS.
SERVICE SINK (TABLE 403.1): ONE REQUIRED.
BARRIER-FREE (SECTION 1109): COMPLIANCE AS REQUIRED.

DESIGN CRITERIA: FLOOR LIVE LOAD: EXISTING SLAB ON GRADE.
GROUND SNOW LOAD: 30PSF.
DEAD LOAD: 20PSF.
MEZZANINE FLOOR LIVE LOAD: 125PSF.
WIND LOAD: 30PSF (3-SEC GUST (15MPH), RISK CATEGORY II, EXPOSURE 'B').
SOIL BEARING (MIN.): EXISTING CONDITION NOT CONFIRMED (1,500PSF ALLOWED BY CODE WITHOUT SOILS TEST)

AREA MAP

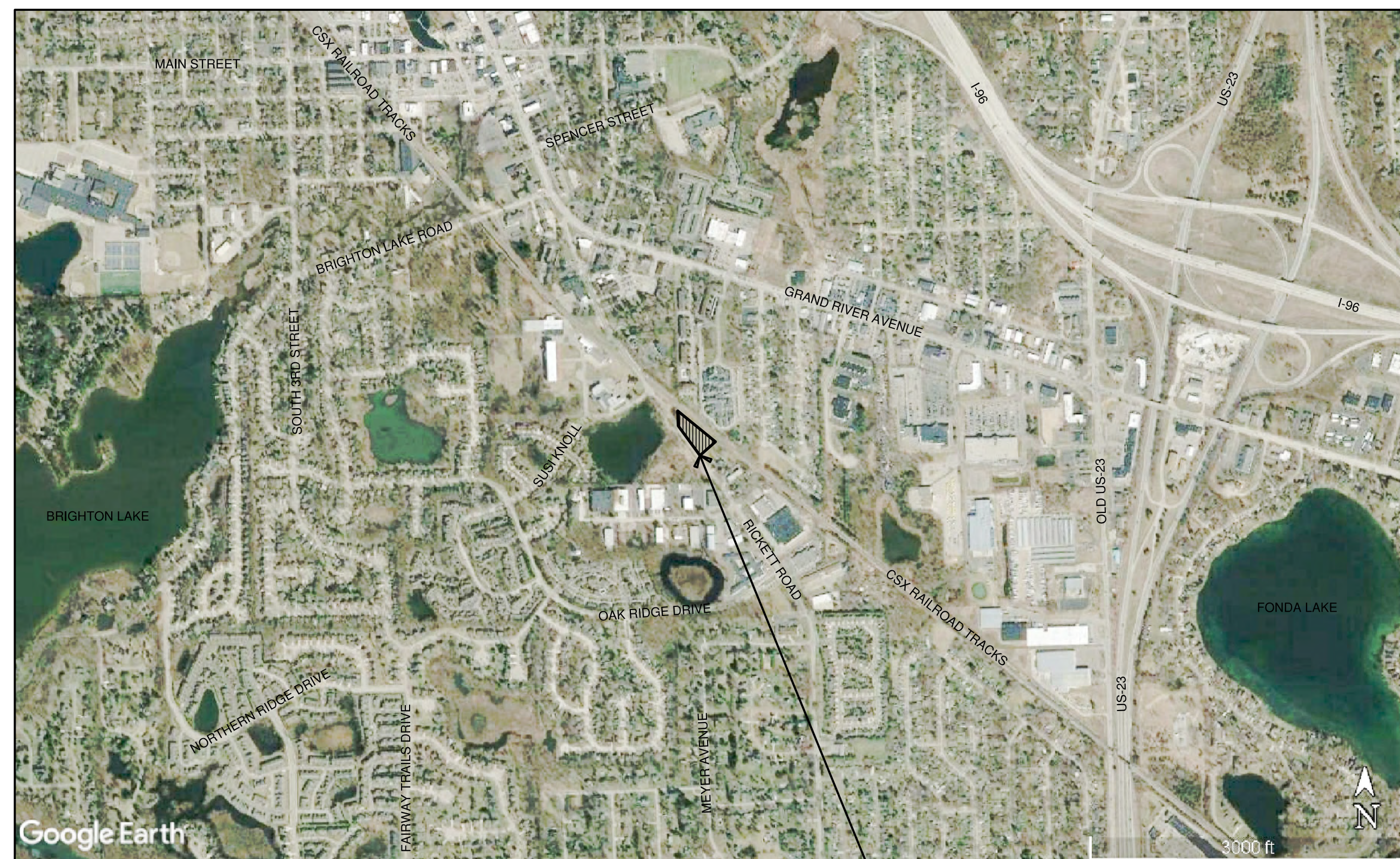


LOCATION MAP

SCALE: NONE



PROJECT LOCATION
PARCEL ID: 4718-31-400-051 & 4718-31-400-050
ZONING: 'I-B' (INTERMEDIATE INDUSTRIAL)



VICINITY MAP

SCALE: NONE



PROJECT LOCATION
PARCEL ID: 4718-31-400-051 & 4718-31-400-050
ZONING: 'I-B' (INTERMEDIATE INDUSTRIAL)

SCHEDULE OF DRAWINGS

NO.	DESCRIPTION
CVR	COVER SHEET / ORDINANCE & BUILDING CODE REVIEW
C-1	SITE PLAN LAYOUT & COVER SHEET
C-2	EXISTING CONDITIONS / REMOVAL PLAN
C-3	GRADING, DRAINAGE, PAVING & UTILITY PLAN
C-4	DETENTION BASIN & CALCULATIONS
C-5	SOIL EROSION CONTROL PLAN
C-6	SOIL EROSION CONTROL DETAILS & NOTES
C-7	SITE LIGHTING PLAN
C-8	SITE LANDSCAPE PLAN
C-9	STANDARD CONSTRUCTION DETAILS & NOTES
C-10	BRIGHTON - ROAD, PARKING, & SIDEWALK STANDARD DETAILS
C-11	BRIGHTON - SANITARY SEWER DETAILS
C-12	BRIGHTON - STORM SEWER DETAILS
C-13	BRIGHTON - WATER MAIN DETAILS
C-14	BRIGHTON - WATER MAIN DETAILS
C-15	SITE FIRE PROTECTION PLAN
A101	FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR BUILDING RENDERINGS

A: ARCHITECTURAL S: STRUCTURAL C: CIVIL
M: MECHANICAL E: ELECTRICAL P: PLUMBING

MATERIAL SYMBOLS

	BRICK		RIGID INSULATION		WOOD BLOCKING
	BLOCK		BLANKET INSULATION		WOOD FINISH
	CONCRETE		PLYWOOD		SAND FILL
	EARTH		PLASTER		METAL
	TILE		BRICK (ELEVATION)		GRAVEL
	ROOFING		FILL		NEW

KEY SYMBOLS

	NORTH ARROW		DOOR NUMBER
	NEW CONTOUR		ROOM NUMBER
	EXISTING CONTOUR		ELEVATION
	NEW GRADE		WINDOW NUMBER
	EXISTING GRADE		WALL TYPE
	DETAIL NUMBER		COLUMN NUMBER

LEGAL DESCRIPTION:
REFER TO SHEET C-1.

PARCEL ID#:
4718-31-400-051 & 4718-31-400-050

UTILITY WARNING
UNDERGROUND UTILITY LOCATIONS, AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.



THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

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PROPOSED PROJECT FOR:
Heartmonic Holdings
HQ/All Heart Garage
1101 Rickett Rd., Brighton, MI 48116

Project Phase:
Design
Permit
Construction

Date:
08-29-21
09-29-21

Rev. Description
1 REVISION FOR SPR
2 REVISION FOR SPR

Released: Last Issue: 5/24/2021 5:00 PM

Project # 2101

Drawn by: rle

Checked by: dm

COVER SHEET

CVR

LEGEND

- FOUND MONUMENTATION
EX ROAD SIGNS
EX UTILITY & LIGHT POLE
EX OVERHEAD POWERLINES
EX BUILDING LINE
EX GAS LINE
EX STORM SEWER
EX STORM MANHOLE
EX STORM CATCHBASIN
EX SANITARY SEWER
EX SANITARY MANHOLE
EX WATERMAIN
EX FIRE HYDRANT
EX WATER MANHOLE
EX GATEVALVE
EX BRUSH AREA
EX TREE
CONC
ASPH
B/B
EX
EXISTING
EX BUILDING AREA
EX PAVEMENT AREAS
EX GRAVEL AREAS
PROP PARKING SPACE NO.
PROP BARRIER FREE (ADA) PARKING
PROP PAINTED TRAFFIC FLOW ARROW
PROP WALL PACK LIGHT
PROP CONCRETE AREAS
PROP BUILDING AREA
PROP ASPHALT PAVEMENT
PROP CURB & GUTTER (NORMAL GRADE)
PROP CURB & GUTTER (REVERSE GRADE)
PROP DRAINAGE STRUCTURES
PROP STORM SEWER
PROP ROOF DRAINS
PROP SANITARY CLEANOUT
PROP SANITARY MANHOLE
PROP SANITARY SEWER LEAD
PROP WATER SHUT-OFF VALVE
PROP FIRE HYDRANT
PROP WATER LINE
PROP TRANSFORMER & BURIED ELEC
PROP GAS METER & BURIED LINE

PROPERTY DESCRIPTIONS:

PARCEL NUMBER 4718-31-400-051, 1101 RICKETT RD
PART OF THE SOUTHEAST 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 6 EAST, CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 31, THENCE ALONG THE EAST LINE OF SAID SECTION 31, N 02°27'18" W, 799.00 FEET (PREVIOUSLY RECORDED AS NORTH 791 FEET); THENCE ALONG THE SOUTHERLY RIGHT OF WAY LINE OF CSX RAIL ROAD (100 FEET WIDE RIGHT OF WAY), N 51°58'38" W, 1409.22 FEET (PREVIOUSLY RECORDED AS S 50°W), TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE S 53°25'47" W, 179.29 FEET; THENCE ALONG THE CENTERLINE OF RICKETT ROAD (66 FEET WIDE PUBLIC RIGHT OF WAY), N 36°34'13" W, 183.66 FEET (PREVIOUSLY RECORDED AS N 24° W); THENCE N 02°55'07" W, 164.23 FEET (PREVIOUSLY RECORDED AS NORTH 163 FEET); THENCE ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID CSX RAIL ROAD, S 51°58'38" E, 332.31 FEET (PREVIOUSLY RECORDED AS S 50° E) TO THE POINT OF BEGINNING, CONTAINING 0.85 ACRES, MORE OR LESS, AND SUBJECT TO THE RIGHTS OF THE PUBLIC IN RICKETT ROAD, ALSO SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

EXISTING ZONING INFORMATION:

ACCORDING TO THE CURRENT CITY OF BRIGHTON ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED I-B (INTERMEDIATE INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT AREA = NONE SPECIFIED
2) MINIMUM LOT WIDTH = NONE SPECIFIED
3) FRONT SETBACK = 50 FEET (VARIANCE TO 24 FEET)
4) SIDE SETBACK = 25 FEET
5) REAR SETBACK = 25 FEET (ABUTTING NON-RESIDENTIAL)
6) MAXIMUM BUILDING COVERAGE = NONE SPECIFIED
7) MAXIMUM BUILDING HEIGHT = 3 STORIES (NOT TO EXCEED 45 FEET)

SANITARY & WATER NOTE:

THE SITE HAS ACCESS TO EXISTING WATERMAIN AND AN EXISTING SANITARY SEWER SYSTEM.

FLOOD PLAIN NOTE:

THIS PROPERTY IS IN ZONE "X" (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26093003450 WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 17, 2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE FINAL WETLAND INVENTORY MAPS, THERE ARE NO WETLAND AREAS ON THIS PROPERTY.

PROJECT NARRATIVE:

IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN DUST, ODOR, SMOKE, FUMES, NOISE, OR LIGHTS. THE BUILDING OCCUPANT WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS.

AS-BUILT NOTE:

THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS ENCOUNTERED DURING CONSTRUCTION.

SITE LAYOUT PLAN & COVER SHEET

SITE DATA:

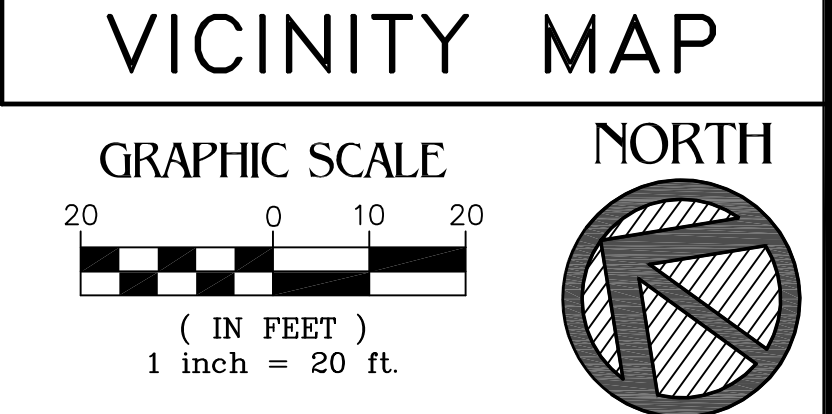
- 1) SITE ZONING = I-B (INTERMEDIATE INDUSTRIAL DISTRICT)
2) ADJACENT ZONING = O-S (WESTERLY), I-B (SOUTHERLY), R-4 (EASTERLY AND NORTHERLY)
3) TOTAL GROSS OVERALL AREA (BOTH PARCELS) = 78,447 SFT OR 78,447/43,560 = 1.80 ACRES EXCLUDING ROAD R/W = 64,968 SFT OR 1.49 ACRES (USEABLE)
4) TOTAL GROSS BUILDING AREA = 9,063 SFT
PROPOSED USEABLE FLOOR AREA (85%) = 7,704 SFT
5) MAXIMUM BUILDING HEIGHT ALLOWED = 3 STORIES (45 FT)
PROPOSED BUILDING HEIGHT = 22'±
6) MAXIMUM LOT COVERAGE ALLOWED = NONE SPECIFIED
TOTAL BUILDING COVERAGE = 9,063/64,968 = 0.1395 OR 14%
7) TOTAL SITE IMPERVIOUS COVERAGE ALLOWED = NONE SPECIFIED
TOTAL SITE IMPERVIOUS COVERAGE = 21,469/64,968 = 33%

SHEET INDEX

- SITE PLAN LAYOUT & COVER SHEET C-1
EXISTING CONDITIONS/REMOVAL PLAN C-2
GRADING, DRAINAGE, PAVING & UTILITY PLAN C-3
DETENTION BASIN & CALCULATIONS C-4
SOIL EROSION CONTROL PLAN C-5
SOIL EROSION CONTROL DETAILS & NOTES C-6
SITE LIGHTING PLAN C-7
SITE LANDSCAPING PLAN C-8
STANDARD CONSTRUCTION DETAILS & NOTES C-9
BRIGHTON - ROAD, PARKING & SIDEWALK STANDARD DETAILS C-10
BRIGHTON - SANITARY SEWER DETAILS C-11
BRIGHTON - STORM SEWER DETAILS C-12
BRIGHTON - WATERMAIN DETAILS C-13 & C-14
SITE FIRE PROTECTION PLAN C-15

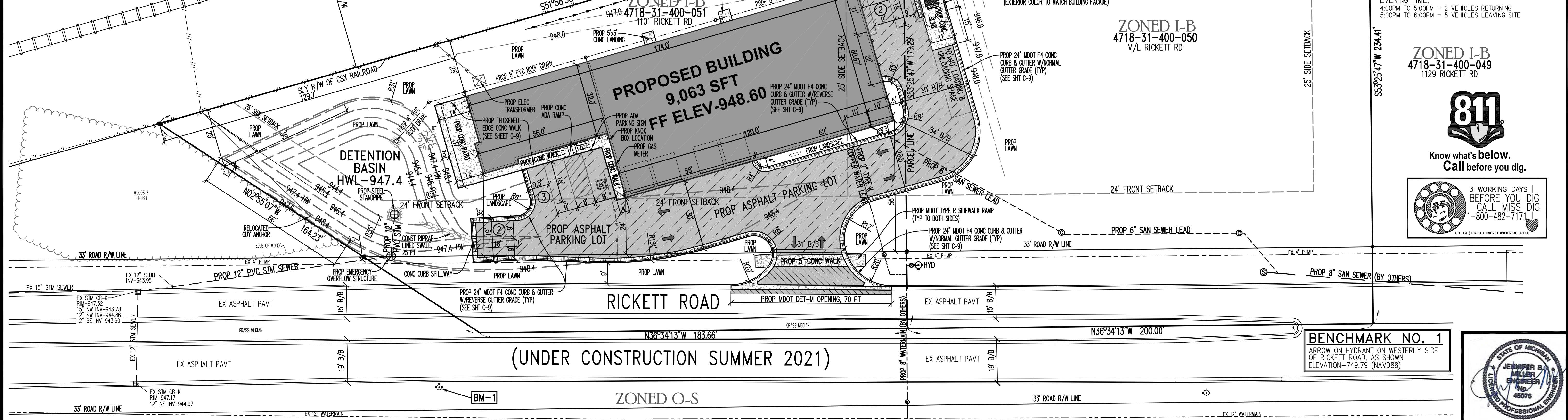
STANDARD NOTES FOR SITE PLANS:

- * A. EXTENSION OF PUBLIC UTILITIES: ALL PUBLIC SANITARY SEWER AND/OR WATERMAIN SHALL BE EXTENDED TO THE FURTHEST LIMITS OF THE PROPERTY, INCLUDING CORNER LOTS, WITH THE PIPE SIZE AND MATERIAL APPROVED BY THE CITY OF BRIGHTON. THIS IS NECESSARY FOR PLAN APPROVAL. FOR WATER SERVICE OF 1" OR LESS OR A BUILDING ON A CORNER LOT, THE REQUIREMENTS TO EXTEND THE PUBLIC WATERMAIN AND/OR SANITARY SEWER ALONG BOTH PROPERTY LINES WILL BE REVIEWED.
* B. WATERMAIN LOOPING: ALL PUBLIC WATERMANS SHALL BE LOOPED WHENEVER POSSIBLE. THE PIPE SIZE REQUIREMENTS SHALL BE APPROVED BY CITY OF BRIGHTON.
* C. INDUSTRIAL PRETREATMENT PROGRAM (IPP): THIS PERMIT IS REQUIRED FOR ALL COMMERCIAL (NON-RESIDENTIAL) AND INDUSTRIAL DISCHARGES. THE OWNER SHALL OBTAIN AN INDUSTRIAL PRETREATMENT DISCHARGE PERMIT PRIOR TO THE ISSUANCE OF A SEWER CONNECTION PERMIT. INDUSTRIAL DISCHARGE PERMITS ARE NONTRANSFERABLE. CHANGES IN FACILITY USE WILL REQUIRE A NEW INDUSTRIAL DISCHARGE PERMIT.
* D. SOIL EROSION: THE DEVELOPER SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE DEVELOPER SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC. AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE DEVELOPER AT THE COST OF THE DEVELOPER.
* E. FLOOD PLAIN OR WETLAND CONSTRUCTION: THE DEVELOPER SHALL APPLY TO THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY FOR A PERMIT FOR THE ALTERATION AND/OR OCCUPATION OF A FLOOD PLAIN OR FLOODWAY, AS REQUIRED UNDER PA 451. EVIDENCE OF THIS PERMIT WILL BE REQUIRED PRIOR TO PLAN APPROVAL BY CITY OF BRIGHTON AND LIVINGSTON COUNTY.
* F. NPDES STORM WATER DISCHARGE PERMIT: THE OWNER OF THE PROPERTY SHALL OBTAIN A NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM MDEQ AS REQUIRED UNDER PUBLIC ACT 451. THE NOTICE OF COVERAGE FORM SHALL BE SUBMITTED THROUGH LIVINGSTON COUNTY DRAIN COMMISSIONER, OR CITY OF BRIGHTON WITH THE SOIL EROSION CONTROL PERMIT APPLICATION. ALL EGLE FEES SHALL ACCOMPANY THE NOTICE OF COVERAGE. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY CITY. LESS THAN 5 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT, THEREFORE A NPDES STORM WATER DISCHARGE PERMIT WILL NOT BE REQUIRED.
* G. CITY OF BRIGHTON PERMIT TO CONSTRUCT A PUBLIC UTILITY: AFTER THE APPROVAL OF THIS PRELIMINARY PLAT OR SITE PLAN, THE DEVELOPER SHALL SUBMIT A DETAILED PLAN FOR CONSTRUCTION OF ALL PUBLIC SANITARY SEWER AND WATERMAIN. THE PLANS MUST HAVE CITY APPROVAL, A S-PERMIT ISSUED, AND APPROVAL FROM THE EGLE PRIOR TO BEGINNING CONSTRUCTION.
* H. CITY OF BRIGHTON RIGHT-OF-WAY PERMIT: THE DEVELOPER SHALL OBTAIN A PERMIT FROM THE CITY OF BRIGHTON, TRAFFIC ENGINEERING DEPARTMENT TO PERFORM WORK WITHIN THE CITY ROAD PUBLIC RIGHT-OF-WAY. ALL FEES FOR THE PERMIT, BONDS AND INSURANCES ARE THE RESPONSIBILITY OF THE DEVELOPER.
* I. MUNICIPALITY SANITARY SEWER AND WATER PERMIT: PRIOR TO THE ISSUANCE OF A BUILDING PERMIT BY THE LOCAL MUNICIPALITY, THE DEVELOPER SHALL BE REQUIRED TO OBTAIN A SANITARY SEWER AND/OR WATER TAP-IN PERMIT FROM THE LOCAL MUNICIPALITY, IF AUTHORIZED.
* J. STATE CONSTRUCTION PERMITS: THE SANITARY SEWER AND WATERMAIN CONSTRUCTION PERMITS FROM THE MICHIGAN ENVIRONMENT, GREAT LAKES & ENERGY (EGLE) SHALL BE SUBMITTED TO THE EGLE AFTER APPROVAL OF CITY. CONSTRUCTION SHALL NOT BEGIN UNTIL THESE STATE PERMITS ARE ISSUED.
* NOT APPLICABLE TO THIS PROJECT



SANITARY MITIGATION CALCULATIONS:

THE PROPOSED SITE A MAXIMUM OF 5 EMPLOYEES ON DAILY BASIS. FOR THE PURPOSES OF DESIGN, 10 EMPLOYEES ON SHFT PER 12 HOUR DAY WILL BE USED. SANITARY SEWER FLOW MITIGATION IS CALCULATED USING 100 GPD/EMPLOYEE, 10 GPD/CUSTOMER, AND APPLYING THE RECOVERY FACTOR OF 1.1 AND PEAKING FACTOR OF 4. THE CALCULATIONS ARE AS FOLLOWS:
TOTAL EMPLOYEES PER DAY = 10 EMPLOYEES (MAX) AT 12 HOURS PER DAY AT 100 GPD/PERSON
10 x 100 = 1,000 GPD TOTAL
TOTAL PEAK FLOW = 1,000 GPD x 1.1 x 4 = 4,400 GPD.
4,400 GPD / 1 DAY/24 HR / 1 HR/60 MIN = 3.05 GPM
TOTAL NEW FLOW FROM SITE = 3.05 GPM. A 6 INCH PIPE AT 1.00% CAN CARRY 0.61 CFS FLOWING FULL OR 0.61x448.83 = 273.79 GPM.
NOTES: NO GREASE TRAP/SEPARATOR IS PROPOSED.



DAILY OPERATIONS STATEMENT:
THE SINGLE-STORY OFFICE WILL SERVE AS INTERNAL OFFICE SPACE FOR HEARTMONIC HOLDINGS, WITH NO ON-SITE SERVICE OR CLIENTELE. THE SINGLE-STORY WAREHOUSE WILL ONLY BE FOR STORAGE OF VINTAGE CARS. THERE WILL ONLY BE A MAXIMUM OF 2 EMPLOYEES IN THE BUILDING ON ANY GIVEN DAY TO OVERSEE OFFICE AND WAREHOUSE OPERATIONS. THE ADDITIONAL 2 REQUIRED SPACES COME FROM THE OFFICE USE FOR 1 SPACE FOR EVERY 1,000SF OF FLOOR AREA (1,755SF / 1,000SF = 2 SPACES). TOTAL REQUIRED PARKING SPACES = 4. PARKING SPACES PROVIDED = 5. PER OWNER DIRECTION WE HAVE ADDED 2 ADDITIONAL PARKING SPACES BETWEEN THE SOUTH END OF THE BUILDING AND THE DUMPSTER ENCLOSURE SINCE THERE WAS SPACE AVAILABLE. TOTAL PARKING SPACES PROVIDED HAS INCREASED TO 7.

DAILY TRIP GENERATIONS:
MORNING TIME:
6:00AM TO 7:00AM = 5 VEHICLES ENTERING SITE
7:00AM TO 8:00AM = 2 VEHICLES LEAVING SITE
LUNCH TIME:
12:00PM TO 1:00PM = 3 VEHICLES LEAVE & RETURN
EVENING TIME:
4:00PM TO 5:00PM = 2 VEHICLES RETURNING
5:00PM TO 6:00PM = 5 VEHICLES LEAVING SITE

811 logo with text: Know what's below. Call before you dig. 3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

BENCHMARK NO. 1
ARROW ON HYDRANT ON WESTERLY SIDE OF RICKETT ROAD, AS SHOWN ELEVATION-749.79 (NAVD88)

SCALE: 1"=20'
JOB NO. 21-140

PREPARED FOR:
ASSELLIN McLANE ARCHITECTURAL GROUP (AMAG)
C/O DANIEL OGINSKY
4488 W BRISTOL ROAD, FLINT, MI 48507
PHONE: 810.230.9311

PART OF THE SOUTHEAST 1/4, SECTION 31, T2N-R6E CITY OF BRIGHTON, LIVINGSTON CO, MI

Fenton Land Surveying & Engineering, Inc
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
PHONE: 810.354.8115 EMAIL:INFO@FENTONLSE.COM

SITE LAYOUT PLAN & COVER SHEET FOR:
PROPOSED WAREHOUSE BUILDING
1101 RICKETT ROAD (VACANT)
BRIGHTON, MI 48116

Table with columns: REVISIONS, DRN. BY, APPR BY, SHEET NO. (C-1)

PROPERTY DESCRIPTIONS:

PARCEL NUMBER 4718-31-400-051, 1101 RICKETT RD
PART OF THE SOUTHEAST 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 6 EAST, CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 31; THENCE ALONG THE EAST LINE OF SAID SECTION 31, N 02°27'18" W, 799.00 FEET (PREVIOUSLY RECORDED AS NORTH, 791 FEET); THENCE ALONG THE SOUTHERLY RIGHT OF WAY LINE OF CSX RAIL ROAD (100 FEET WIDE RIGHT OF WAY), N 51°58'38" W, 1409.22 FEET (PREVIOUSLY RECORDED AS N 50°W), TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE S 59°25'47" W, 179.29 FEET; THENCE ALONG THE CENTERLINE OF RICKETT ROAD (66 FEET WIDE PUBLIC RIGHT OF WAY), N 36°34'13" W, 183.66 FEET (PREVIOUSLY RECORDED AS N 24° W); THENCE N 02°55'07" W, 164.23 FEET (PREVIOUSLY RECORDED AS NORTH, 163 FEET); THENCE ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID CSX RAIL ROAD, S 51°58'38" E, 332.31 FEET (PREVIOUSLY RECORDED AS S 50° E) TO THE POINT OF BEGINNING, CONTAINING 0.85 ACRES, MORE OR LESS, AND SUBJECT TO THE RIGHTS OF THE PUBLIC IN RICKETT ROAD, ALSO SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD.

PARCEL NUMBER 4718-31-400-050, (VACANT) RICKETT RD
PART OF THE SOUTHEAST 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 6 EAST, CITY OF BRIGHTON, LIVINGSTON COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 31; THENCE ALONG THE EAST LINE OF SAID SECTION 31, NORTH 02 DEGREES 27 MINUTES 18 SECONDS WEST, 799.00 FEET (PREVIOUSLY RECORDED AS NORTH, 791 FEET); THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF CSX RAIL ROAD (100 FEET WIDE RIGHT-OF-WAY), NORTH 51 DEGREES 58 MINUTES 38 SECONDS WEST, 1201.76 FEET (PREVIOUSLY RECORDED NORTH 50 DEGREES WEST) TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE SOUTH 53 DEGREES 25 MINUTES 47 SECONDS WEST, 234.41 FEET; THENCE ALONG THE CENTERLINE OF RICKETT ROAD (66 FEET WIDE PUBLIC RIGHT-OF-WAY), NORTH 36 DEGREES 34 MINUTES 13 SECONDS WEST, 200.00 FEET (PREVIOUSLY RECORDED AS NORTH 24 DEGREES WEST); THENCE NORTH 53 DEGREES 25 MINUTES 47 SECONDS EAST, 179.29 FEET; THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID CSX RAIL ROAD, SOUTH 51 DEGREES 58 MINUTES 38 SECONDS EAST, 207.46 FEET (PREVIOUSLY RECORDED AS SOUTH 50 DEGREES EAST) TO THE POINT OF BEGINNING.

UTILITIES & PLAN DISTRIBUTION LIST

AGENCY	FACILITY	CONTACT PERSON
CONSUMER ENERGY DIVISION OF GAS PO BOX 30079 LANSING, MI 48937-0001	GAS	CUSTOMER SERVICE (800) 649-3777
DTE ELECTRIC COMPANY 1095 LAWSON ROAD HOWELL, MI 48843	ELECTRIC	CUSTOMER SERVICE (734) 332-8145
AT&T 502 BEACH FLINT, MI 48902	TELEPHONE	MATT SLIVA (248) 456-9371
COMCAST (FIMTY) 6095 WALL STREET STERLING HEIGHTS, MICHIGAN 48312	CABLE TV	PATRICK REINHART (586) 914-6497
CITY OF BRIGHTON DEPARTMENT OF PUBLIC SERVICES 200 N FIRST STREET BRIGHTON, MI 48116	STREETS, DRAINAGE, STORMWATER & STREET LIGHTS	COREY BROOKS (810) 884-5112
CITY OF BRIGHTON DEPARTMENT OF PUBLIC WORKS 200 N FIRST STREET BRIGHTON, MI 48116	SANITARY SEWER & WATERMAIN	DERAN COLLINS (810) 225-9284
CITY OF BRIGHTON COMMUNITY DEVELOPMENT DEPARTMENT 200 N FIRST STREET BRIGHTON, MI 48116	PLANNING, ZONING & BUILDING DEPARTMENT	MIKE CARUSO (810) 844-5149

SURVEYOR NOTES:

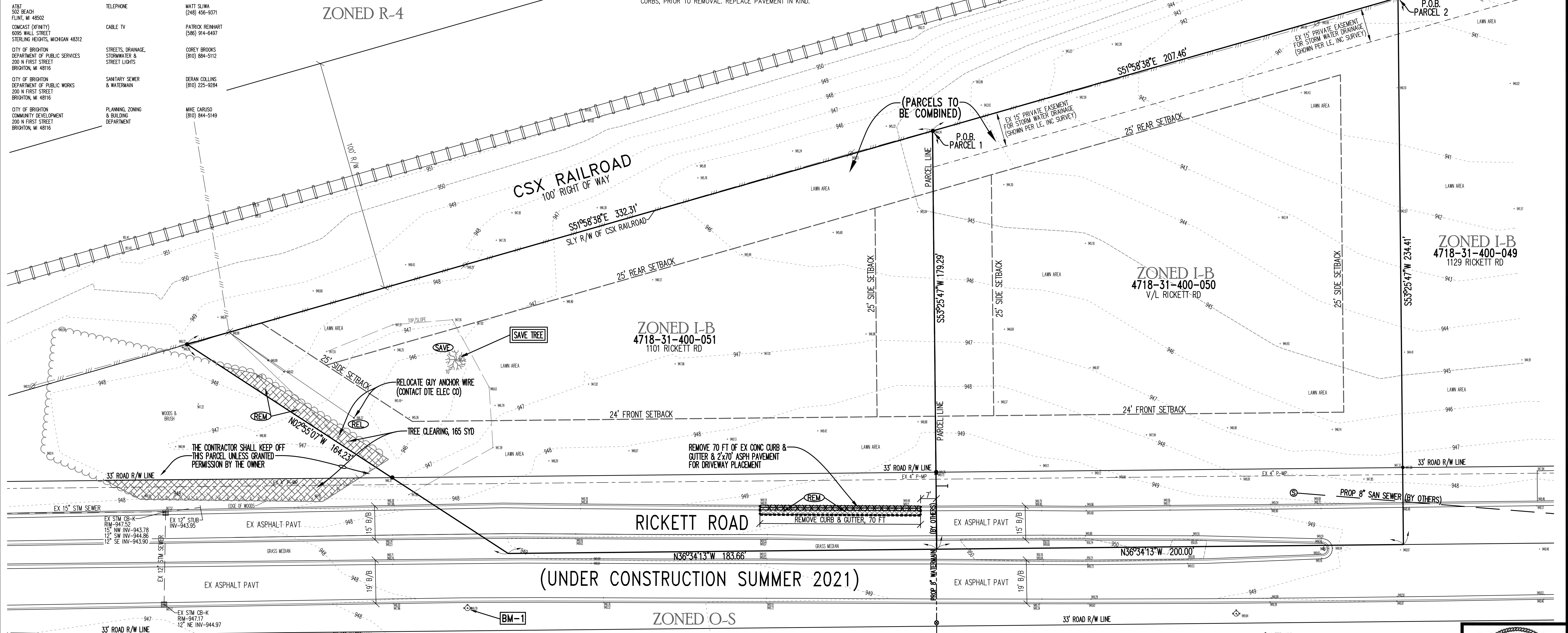
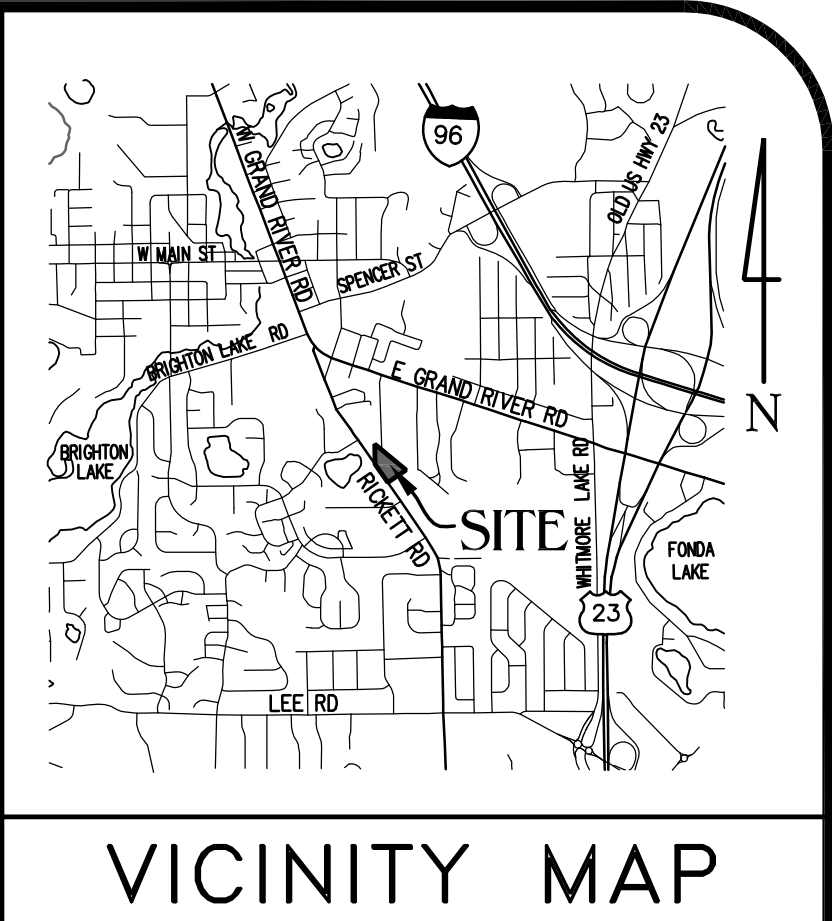
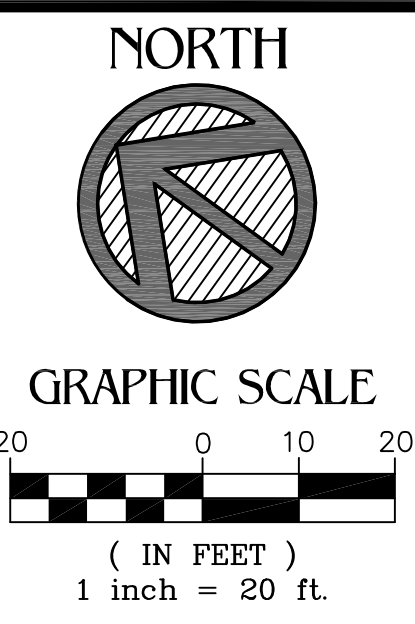
- DATE OF LAST FIELD WORK: APRIL 22, 2021.
- THE SITE IS RELATIVE TO THE MICHIGAN COORDINATE SYSTEM, SOUTH ZONE (2113) AS DEFINED BY MICHIGAN P.A. 9 OF 1964 AND AMENDED BY P.A. 154 OF 1988 (NAD 83 [2011]).
- THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
- THE CURRENT ZONING AS EVIDENCED BY CITY OF BRIGHTON IS I-B, INTERMEDIATE INDUSTRIAL DISTRICT.
- PER OBSERVATION, THIS SITE IS EITHER CURRENTLY SUPPLIED BY OR HAS ACCESS TO THE FOLLOWING PUBLIC UTILITIES: DOMESTIC WATER, SANITARY SEWER, STORM SEWER, GAS, ELECTRIC, AND TELEPHONE. EITHER LOCATED ADJACENT TO THE SUBJECT SITE OR WITHIN PUBLIC ROAD RIGHT-OF-WAY.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS, IF AVAILABLE. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- TOTAL PROPERTY AREA = 78,447 SFT OR 1.80 ACRES (BOTH PARCELS)

DEMOLITION/REMOVAL NOTES:

- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MICHIGAN REGULATIONS INSOFAR AS THEY APPLY TO THE REQUIRED WORK. A SOIL EROSION CONTROL PERMIT MUST BE OBTAINED FROM THE CITY OF BRIGHTON OR LIVINGSTON COUNTY DRAIN COMMISSIONER PRIOR TO BEGINNING ANY DEMOLITION WORK.
- THE DEMOLITION CONTRACTOR SHALL FOLLOW DEMOLITION POLICY IN CITY OF BRIGHTON AND IN LIVINGSTON COUNTY.
- THE DEMOLITION CONTRACTOR SHALL REMOVE ALL TREES, BRUSH, SIDEWALKS, CURBS, ASPHALT AND CONCRETE PAVEMENT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE PERMITTED, PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDINGS IN ITS ENTIRETY INCLUDING WALLS, FOUNDATION, AND FOOTINGS, IF APPLICABLE, AND AS SHOWN ON PLANS, IF REQUIRED.
- BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% DENSITY PER MODIFIED PROCTOR IN MAXIMUM 9" LIFTS.
- AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION WITH ANY PROTECTIVE DEVICES AND BARRIERS REMOVED. ALL EXPOSED AREAS SHALL BE SUITABLY TOP SOILED, SEEDED AND MULCHED.
- DEMOLISH AND REMOVE ALL EXISTING SLABS AND PAVEMENT, AS SHOWN, VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION WORK WHICH MAY OR MAY NOT BE SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSTALL INFI-SHIELD OR AN APPROVED ALTERNATE FOR MANHOLES IN DRIVE, IF APPLICABLE.
- CONTRACTOR SHALL OBTAIN A MANHOLE CASTING ADJUSTING PERMIT FROM THE CITY OF BRIGHTON FOR ANY SANITARY SEWER OR WATER MANHOLES WITHIN CONSTRUCTION.
- CONTRACTOR SHALL SAW-CUT ALL EXISTING CONCRETE AND ASPHALT PAVEMENT AND CONCRETE CURBS, PRIOR TO REMOVAL. REPLACE PAVEMENT IN KIND.

LEGEND

	FOUND MONUMENTATION		EX CHAIN LINK FENCE
	EX ROAD SIGNS		EX WROUGHT IRON FENCE
	EX UTILITY POLE		EX SURFACE ELEVATION
	EX OVERHEAD POWERLINES		EX CONTOUR ELEVATION
	EX STREET LIGHT POLE		EX DRAINAGE FLOW
	EX PEDESTAL		EX BRUSH AREA
	EX BUILDING WALL LIGHT		EX TREE
	EX BUILDING LINE		CONCRETE
	EX GAS LINE		ASPHALT
	EX GAS/ELEC METER		BACK TO BACK
	EX STORM SEWER		EX BUILDING AREA
	EX STORM MANHOLE		EX PAVEMENT AREAS
	EX STORM CATCHBASINS		SAW CUT LINE
	EX SANITARY SEWER		REMOVE PAVEMENT
	EX SANITARY MANHOLE		REMOVE TREES & BRUSH
	EX WATERMAIN		REMOVE CURB & GUTTER
	EX FIRE HYDRANT		REMOVE ITEM(S)
	EX WATER MANHOLE		RELOCATE ITEM(S)
	EX GATEVALVE		RECONSTRUCT ITEM(S)



SANITARY & WATER NOTE:
THE SITE HAS ACCESS TO AN EXISTING PUBLIC WATERMAIN AND SANITARY SEWER SYSTEM.

FLOOD PLAIN NOTE:
THIS PROPERTY IS IN ZONE "X" (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26093C03450 WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 17, 2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

EXISTING ZONING INFORMATION:
ACCORDING TO THE CURRENT CITY OF BRIGHTON ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED I-B (INTERMEDIATE INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- MINIMUM LOT AREA = NONE SPECIFIED
- MINIMUM LOT WIDTH = NONE SPECIFIED
- FRONT SETBACK = 50 FEET (VARIANCE TO 24 FEET)
- SIDE SETBACK = 25 FEET
- REAR SETBACK = 25 FEET (ABUTTING NON-RESIDENTIAL)
- MAXIMUM BUILDING COVERAGE = NONE SPECIFIED
- MAXIMUM BUILDING HEIGHT = 3 STORIES (NOT TO EXCEED 45 FEET)

SURVEYORS CERTIFICATE:

I, JASON P. WHITE, HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY DIRECT SUPERVISION, AND THAT THE TOPOGRAPHY SHOWN ON THIS DRAWING WAS COMPILED FROM A GROUND SURVEY. NO PROPERTY CORNERS WERE SET AT THE TIME OF THE TOPOGRAPHY SURVEY. THE LAST DATE OF FIELD WORK WAS APRIL 22, 2021.



3 WORKING DAYS!
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

CALL BEFORE YOU DIG
811
Know what's below.
Call before you dig.

BENCHMARK NO. 1
ARROW ON HYDRANT ON WESTERLY SIDE OF RICKETT ROAD, AS SHOWN ELEVATION=749.79 (NAVD88)

SCALE: 1"=20'
JOB NO. 21-140

PREPARED FOR:
ASSELIN McLANE ARCHITECTURAL GROUP (AMAG)
C/O DANIEL OGINSKY
4488 W BRISTOL ROAD, FLINT, MI 48507
PHONE: 810.230.9311

PART OF THE SOUTHEAST 1/4,
SECTION 31, T2N-R6E
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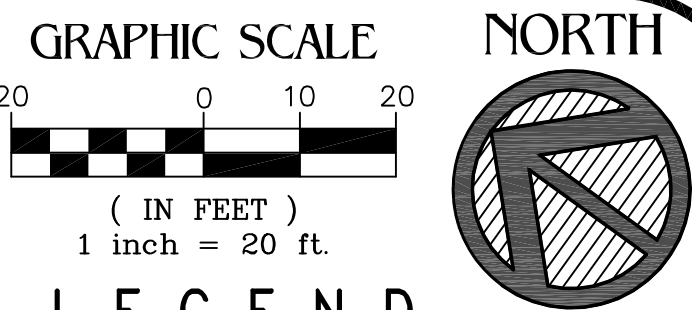
F&E
Fenton Land Surveying & Engineering, Inc
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

SURVEY OF EXISTING CONDITIONS & REMOVAL PLAN FOR:
PROPOSED WAREHOUSE BUILDING
1101 RICKETT ROAD (VACANT)
BRIGHTON, MI 48116

REVISIONS	DRN. BY:	J.R.B.	05.19.2021	SHEET NO:
06.28.2021	DSN BY:	J.R.B.	"	C-2
	CHK'D BY:	J.B.M.	"	
	APPR BY:	J.P.W.	"	

FILED: JOBS/21-140/AMAG-1101 RICKETT RD BRIGHTON - SURVEY-REMOVE - C-2

GRADING, DRAINAGE, PAVING, & UTILITY PLAN



DRAINAGE STRUCTURE SCHEDULE

NOTE: SEE SHEET C-12, CITY OF BRIGHTON STANDARD STORM SEWER CONSTRUCTION DETAIL SHEET

DRAINAGE STRUCT NO 1 (DS-1)
EX 4" DIA CATCHBASIN W/K COVER AND 2" DEEP SUMP
EX RIM-947.52
EX 12" INV SW-944.86
EX 15" INV SW-943.78
EX 12" INV SE-943.90 (STUB)

DRAINAGE STRUCT NO 2 (DS-2)
CONST 4" DIA MANHOLE W/MOOT FRAME COVER E (EMERGENCY OVERFLOW)
PROP RIM-947.50
PROP 12" INV SW-944.22

DRAINAGE STRUCT NO 3 (DS-3)
INSTALL 24" CSP STANDPIPE (PER DETAILS ON SHEET C-4)
PROP RIM-974.40 (BANKFULL)
PROP 12" INV SW-944.22

ROOF DRAIN (RD) STRUCTURE SCHEDULE

ROOF DRAIN CLEANOUT NO 1 (RDC-2)
CONST 8" CLEANOUT RISER (EJW 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-945.21

ROOF DRAIN CLEANOUT NO 2 (RDC-2)
CONST 8" CLEANOUT RISER (EJW 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-945.37

ROOF DRAIN CLEANOUT NO 3 (RDC-3)
CONST 8" CLEANOUT RISER (EJW 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-945.91

ROOF DRAIN CLEANOUT NO 4 (RDC-4)
CONST 8" CLEANOUT RISER (EJW 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-946.20

ROOF DRAIN CLEANOUT NO 5 (RDC-5)
CONST 8" CLEANOUT RISER (EJW 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-946.51

SANITARY SEWER STRUCTURE SCHEDULE

NOTE: SEE SHEET C-11, CITY OF BRIGHTON STANDARD SANITARY SEWER CONSTRUCTION DETAIL SHEET

SANITARY MANHOLE NO 0 (SMH-0)
EX 4" DIA MANHOLE W/COVER
EX RIM ELEV-948.51
EX 8" INV SE-935.11

SANITARY CLEANOUT NO 1 (SC-1)
CONST 6" CLEANOUT RISER
PLACE 6" PVC COVER
PROP RIM-949.30
PROP 6" INV NSE-941.00

SANITARY CLEANOUT NO 2 (SC-2)
CONST 6" CLEANOUT RISER
PLACE 6" PVC COVER
PROP RIM-949.30
PROP 6" INV NSE-941.00

SANITARY CLEANOUT NO 3 (SC-3)
CONST 6" CLEANOUT RISER
PLACE 6" PVC COVER
PROP RIM-946.40
PROP 6" INV NSE-939.33

WATERMAIN STRUCTURE/APPURTENANCE SCHEDULE

NOTE: SEE SHEETS C-13 & C-14, CITY OF BRIGHTON STANDARD WATERMAIN CONSTRUCTION DETAIL SHEETS

WATERMAIN STRUCT NO 1 (WM-1)
INSTALL A NEW DI 8" X 2" TEE AND CONNECT TO PROP 2" TYPE X LEAD
PROP 2" INV-943.50

WATERMAIN STRUCT NO 2 (WM-2)
INSTALL A 6" GATEVALVE ASSEMBLY IN BOX (FOR HYDRANT) (NE)
PROP RIM-949.70
PROP 2" INV-943.50

WATERMAIN STRUCT NO 3 (WM-3)
INSTALL A NEW FIRE HYDRANT PER CITY DETAILS
PROP HYDRANT ELEV-949.50
PROP 2" INV-943.50

WATERMAIN STRUCT NO 4 (WM-4)
INSTALL A 2" TEMP PLUG FOR PROP BUILDING CONTRACTOR TO CONNECT
PROP 2" INV-942.00

WATERMAIN STRUCT NO 5 (WM-5)
INSTALL A 2" TEMP PLUG FOR PROP BUILDING CONTRACTOR TO CONNECT
PROP 2" INV-942.00

UTILITY CROSSING SCHEDULE

UTILITY CROSSING NO 1 (UC-1)
PROP 12" STORM & EX 4" GASMAIN
EX 4" GASMAIN INV-945.51
PROP 12" STORM SEWER INV-944.11

UTILITY CROSSING NO 2 (UC-2)
PROP 2" WATER LEAD & EX 4" GAS
PROP 2" WATER LEAD INV-942.41
EX 4" GASMAIN INV-945.01

UTILITY CROSSING NO 3 (UC-3)
PROP 6" WATERMAIN & EX 4" GAS
PROP 6" WATERMAIN INV-942.21
EX 4" GASMAIN INV-946.51

UTILITY CROSSING NO 4 (UC-4)
PROP 6" SAN LEAD & EX 4" GAS
PROP 6" SAN LEAD INV-939.11
EX 4" GASMAIN INV-945.01

100 YEAR STORM STORAGE VOLUME SUMMARY:
TOTAL ACRES = 0.715 ACRES
WEIGHTED RUNOFF COEFFICIENT = 0.71
ALLOWABLE OUTFLOW = 0.20 x 0.715 = 0.143 CFS/ACRE
VOLUME REQUIRED = 6,330 CFT
VOLUME PROVIDED = 6,710 CFT
100 YEAR HIGHWATER ELEVATION = 947.40
PROPOSED 12 INCH OUTLET PIPE INVERT = 944.22
PLACE 12 INCH CAP W/2 INCH HOLE AT ELEVATION 944.22
(SEE SHEET C-4 FOR DETENTION BASIN DETAILS & NOTES)

BENCHMARK NO. 1
ARROW ON HYDRANT ON WESTERLY SIDE OF RICKETT ROAD, AS SHOWN
ELEVATION=749.79 (NAVD88)

UTILITY NOTES:

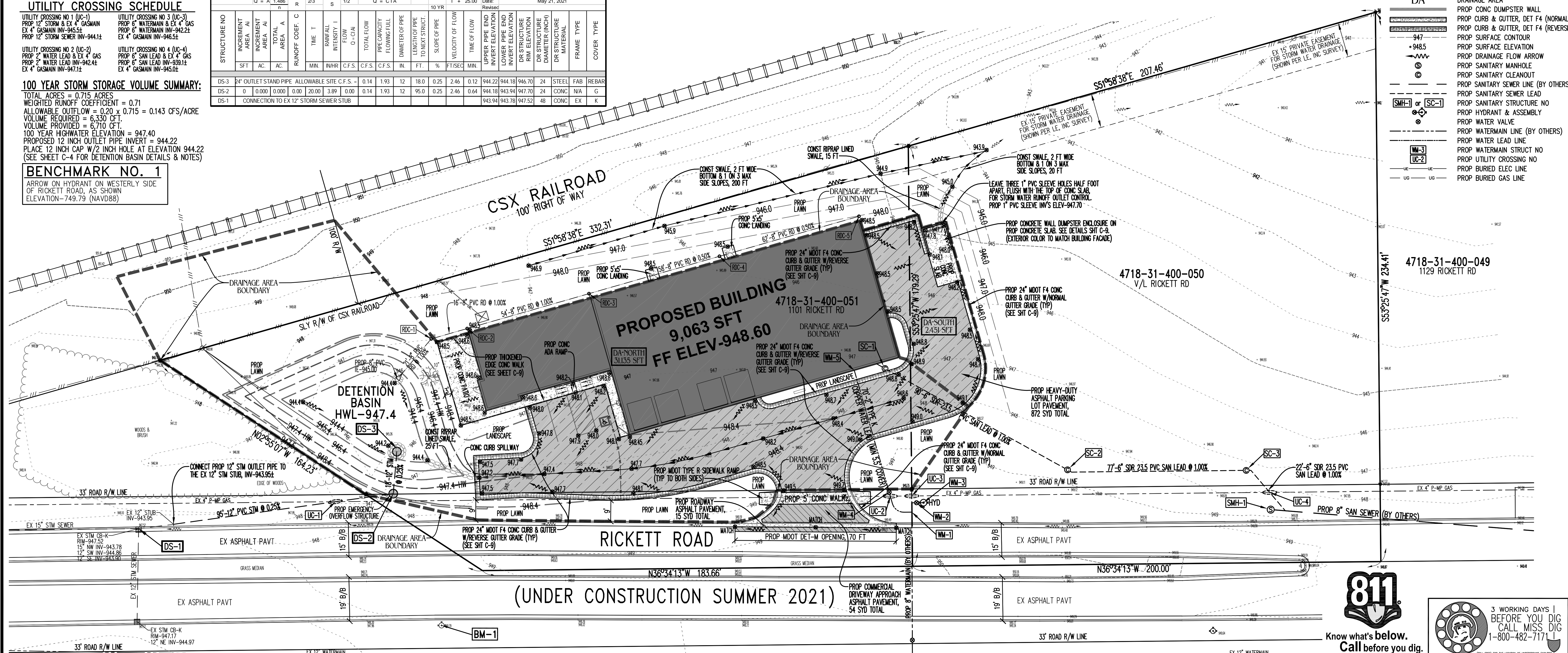
- SANITARY SEWER SADDLE TAPS SHALL BE MADE BY CITY OF BRIGHTON PERSONNEL. THE DEVELOPER SHALL OBTAIN THE REQUIRED MUNICIPALITY SANITARY SEWER PERMIT OR THE S CONSTRUCTION PERMIT, AND PAY CITY OF BRIGHTON THE REQUIRED FEE FOR A SADDLE TAP.
- THE CONTRACTOR SHALL VERIFY THE SANITARY SEWER DEPTH AND BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF SEWER TOWARD THE MAINLINE SEWER IN STRICT ACCORDANCE WITH CITY OF BRIGHTON STANDARD DETAILS AND SPECIFICATIONS.
- SANITARY SERVICE LEADS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF BRIGHTON STANDARD DETAILS AND SPECIFICATIONS.
- WATER SERVICE CONNECTION AND CURB BOX SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF BRIGHTON STANDARD DETAILS AND SPECIFICATIONS.
- ALL WATER SERVICE LEADS SHALL BE "K" COPPER. THE MINIMUM SIZE SHALL BE 2".
- ALL WATERMAIN PRESSURE TAPS AND CUT IN VALVES 4" AND LARGER SHALL BE CONSTRUCTED WITH CAST IRON TAPPING SLEEVES AND WITHIN A MANHOLE STRUCTURE PER CITY OF BRIGHTON STANDARD DETAILS AND SPECIFICATIONS.
- SAND FILL UNDER ANY FLOOR SLAB, WALKS, PAVED AREAS, ETC. SHALL BE MINIMUM M00T CLASS II SAND BACKFILL (A5). FILL SAND SHALL NOT HAVE MOISTURE CONTENT GREATER THAN 15%. THE SAND SHALL BE COMPACTED TO 95% OF MATERIAL THE UNIT WEIGHT BY PROCTOR.
- ALL EXISTING UTILITIES SERVING THE PROPERTY SHALL BE PROPERLY TERMINATED IN COMPLIANCE WITH LOCAL AND/OR COUNTY REGULATIONS. REMOVE ALL TREES, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN, AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER AND THE LANDSCAPING PLAN TO DETERMINE ALL TREES TO REMAIN.
- VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT, VALVE BOXES, MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT. THE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FOR ADJUSTMENT AT THE CONTRACTOR'S EXPENSE.
- THE WATER SUPPLY FOR ALL COMMERCIAL AND INDUSTRIAL BUILDINGS SHALL BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE IN ACCORDANCE WITH BUILDING CODES. AN APPROVAL OF METHODS MUST BE ACQUIRED FROM CITY OF BRIGHTON.
- ALL ON SITE WATER SERVICE SHALL MEET THE REQUIREMENTS OF CITY OF BRIGHTON STANDARD DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY MISS DIG (811) THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WITH POWER EQUIPMENT.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, COUNTY, STATE, AND LOCAL REGULATIONS FOR ALL WORK THAT TAKES PLACE ON THE SITE.
- THE CONTRACTOR/DEVELOPER SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY FEDERAL, STATE, LOCAL, OR PRIVATE AGENCIES AND PAY ALL CHARGES FOR INSPECTION AND TESTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE PREMISES, AND UPON COMPLETION OF THE PROJECT, LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY THE ENGINEER OR OWNER.
- COMMERCIAL BUILDINGS SHALL USE A 6" SANITARY RISER FROM THE MAIN TO THE STRUCTURE. THE SERVICE RISER SHALL CONNECT TO THE MAINLINE AND NOT AT A MANHOLE.
- FOR COMMERCIAL ESTABLISHMENTS THAT GENERATE GRIT OR GREASE, AN EXTERNAL GREASE INTERCEPTOR SHALL BE PROVIDED. SHOW THE DETAILS ON THE PLANS WITH APPROPRIATE NOTES. THE DOMESTIC SEWAGE SHALL BE DESIGNED TO BYPASS THE GREASE/GRIT TRAP.
- THE MINIMUM SLOPE FOR A COMMERCIAL LEAD IS 1" OF FALL PER 100 FEET OF PIPE. SHOW THE INVERT AT THE STRUCTURE AND THE SLOPE TO THE PROPERTY LINE.
- ALL SANITARY SEWER LEADS/LATERALS SHALL BE SDR-26 PVC WITH CLEANOUTS SPACED EVERY 90 FEET.

CONSTRUCTION NOTES:

- PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE. SEE SHEET C-9 FOR MISCELLANEOUS CONSTRUCTION DETAILS TO CALCULATE THE TOP OF WALK OR TOP OF CURB ELEVATIONS.
- ALL PROPOSED STORM SEWER SHALL BE ADS N-12 HIGH-DENSITY POLYETHYLENE (HDPE) WATERTIGHT PIPE, OR SCH-40 PVC PIPE UNLESS NOTED OTHERWISE. ALL ROOF DRAIN PIPE SHALL BE 8" SCH-40 PVC PIPE.
- ALL STORM SEWER UNDER PROPOSED PAVEMENT SHALL BE BACKFILLED WITH CLASS II SAND COMPACTED TO A MINIMUM 95% OF MAXIMUM UNIT WEIGHT BY MODIFIED PROCTOR FOR THE FULL DEPTH OF THE TRENCH.
- ALL NEW DRAINAGE STRUCTURES (DS) WITHIN PAVEMENT AREAS SHALL HAVE 20" OR 40" OF 4" UNDERDRAIN OUT OF EACH STRUCTURE, SEE SHEET C-9.
- SEE SHEET C-10 FOR CITY OF BRIGHTON ROAD, PARKING & SIDEWALK STANDARD CONSTRUCTION DETAILS & NOTES.
- SEE SHEET C-11 FOR CITY OF BRIGHTON SANITARY SEWER STANDARD CONSTRUCTION DETAILS AND NOTES.
- SEE SHEET C-12 FOR CITY OF BRIGHTON STORM SEWER STANDARD CONSTRUCTION DETAILS AND NOTES.
- SEE SHEETS C-13 & C-14 FOR CITY OF BRIGHTON WATERMAIN STANDARD CONSTRUCTION DETAILS AND NOTES.
- THE BARRIER FREE RAMPS MUST BE BUILT PER ADA STANDARDS AND SPECIFICATIONS

1101 RICKETT ROAD SITE - STORM SEWER SYSTEM DESIGN

STRUCTURE NO	INCREM. AREA A1	INCREM. AREA A2	TOTAL AREA A	RUNOFF COEFF. C	R	TIME T	RAINFALL INTENSITY I	FLOW Q	PIPE SIZE	VELOCITY V	TIME OF FLOW	PIPE END INVERT ELEVATION	PIPE END INVERT ELEVATION	DR STRUCTURE	DR STRUCTURE DIAMETER (INCH)	DR STRUCTURE MATERIAL	FRAME TYPE	COVER TYPE			
DS-3	24"	0.0000	0.0000	0.00	20.00	3.89	0.00	0.14	1.93	12	18.0	0.25	2.46	0.12	944.22	944.18	946.70	24	STEEL	FAB	REBAR
DS-2	0	0.0000	0.0000	0.00	20.00	3.89	0.00	0.14	1.93	12	95.0	0.25	2.46	0.64	944.18	943.94	947.70	24	CONC	NA	G
DS-1	CONNECTION TO EX 12" STORM SEWER STUB											943.94	943.78	947.52	48	CONC	EX	K			



811
Know what's below.
Call before you dig.

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

SCALE: 1"=20'
JOB NO. 21-140

PREPARED FOR:
ASSELIN McLANE ARCHITECTURAL GROUP (AMAG)
C/O DANIEL OGINSKY
4488 W BRISTOL ROAD, FLINT, MI 48507
PHONE: 810.230.9311

PART OF THE SOUTHEAST 1/4,
SECTION 31, T2N-R6E
CITY OF BRIGHTON, LIVINGSTON CO, MI

F&E
Fenton Land Surveying & Engineering, Inc
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

GRADING, DRAINAGE, PAVING, & UTILITY PLAN FOR:
PROPOSED WAREHOUSE BUILDING
1101 RICKETT ROAD (VACANT)
BRIGHTON, MI 48116

REVISIONS 06.28.2021	DRN. BY: DSN BY: CHK'D BY: APPR BY:	J.R.B. J.R.B. J.P.W. J.B.M.	05.19.2021 " " "	SHEET NO: C-3
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GENERAL CONSTRUCTION NOTES:

1. ALL SITE CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS, THE 2012 MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE LATEST MDOT STANDARD ROAD PLANS, AND THE LATEST CITY OF BRIGHTON ZONING ORDINANCE AND ENGINEERING DESIGN STANDARDS. COPIES OF ALL MDOT DOCUMENTS MAY BE OBTAINED FROM THEIR WEBSITE (WWW.MICHIGAN.GOV/MDOT).
2. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO GRADE THE SITE TO THE GRADES SHOWN ON THE PLANS OR SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, EMBANKMENT, AND THE FURNISHING AND PLACING OF ALL BORROW MATERIAL REQUIRED TO OBTAIN THE SPECIFIED GRADES, AND REMOVAL OF EXCESS EARTH MATERIAL.
3. SUBGRADE PREPARATION: REMOVE ALL ROOTS, DEBRIS, VEGETATION AND TOPSOIL FROM THE AREA TO BE PAVED. SHAPE THE SUBGRADE TO PROPER ELEVATIONS FOR PLACEMENT OF THE PAVEMENT. COMPACT SUBGRADE TO NOT LESS THAN 95% OF MAXIMUM UNIT WEIGHT IN 9 INCH LIFTS IN ACCORDANCE WITH THE MODIFIED PROCTOR METHOD. THE CONTRACTOR SHALL UNDERLAY AND UNDERSEAL SUBGRADE MATERIAL, AND REPLACE IT WITH SUITABLE MATERIAL, COMPACTED TO MINIMUM 95% OF MAX UNIT WEIGHT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSURANCE AND BONDS PRIOR TO CONSTRUCTION, INCLUDING THE PAYMENT OF ANY FEES, REQUIRED BY ANY FEDERAL, STATE, LOCAL, OR PRIVATE ORGANIZATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF SURPLUS OR WASTE MATERIAL.
6. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE EMPLOYED IN ACCORDANCE WITH THE SOIL EROSION CONTROL PLAN, AND SHALL MEET THE APPROVAL OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER (LCO) AND/OR CITY OF BRIGHTON, SOIL EROSION CONTROL DEPARTMENT. CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT FROM THE LCO AND/OR CITY OF BRIGHTON SOIL EROSION CONTROL DEPARTMENT (SECS).
7. ALL LAWN OR TURF AREAS SHALL BE ESTABLISHED WITH TOPSOIL AND APPLICATION OF FERTILIZER, SEED AND MULCH IN ACCORDANCE WITH THE FOLLOWING RATES:
TOPSOIL SURFACE = MINIMUM 4 INCHES
CHEMICAL FERTILIZER NUTRIENT = 240 LBS/ACRE
CLASS A SEEDING = 120 LBS/ACRE
MULCH = 2 TONS/ACRE
ALL LANDSCAPE BEDS SHALL HAVE 1" OF TOPSOIL.
ALL MATERIAL SHALL COMPLY WITH MDOT STANDARD SPECIFICATIONS.
8. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO EXPOSE ALL EXISTING UTILITIES THAT CROSS THE PROPOSED CONSTRUCTION IN ORDER TO DETERMINE IF A VERTICAL CONFLICT EXISTS BETWEEN THE EXISTING UTILITY AND THE PROPOSED CONSTRUCTION. ALL LABOR REQUIRED TO UNCOVER THE EXISTING UTILITY SHALL BE CONSIDERED AS BEING INCLUDED IN THE COST OF CONSTRUCTION. THE CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACES NOT ACCEPTABLE SHALL BE REPAIRED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD TO BE AN ACCEPTANCE OF THE SURFACES AND WORKING CONDITIONS BY THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS. ANY UNSTABLE LIMESTONE BASE OR ASPHALT PAVEMENT MUST BE REMOVED AND REPLACED BY THE CONTRACTOR AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.
9. PRIOR TO BIDDING THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF THE SITE AND EXISTING SURFACE AND SUBSURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ADJUST THEMSELVES WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUBSURFACE SOIL AND GROUND WATER CONDITIONS, NEARBY, IF DETERMINED NECESSARY BY THE CONTRACTOR, WILL BE INDICATED TO THE COST OF CONSTRUCTION.
10. ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF THE PROPOSED WORK. BEFORE COMMENCING PAVING WORK, THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACES NOT ACCEPTABLE SHALL BE REPAIRED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD TO BE AN ACCEPTANCE OF THE SURFACES AND WORKING CONDITIONS BY THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS. ANY UNSTABLE LIMESTONE BASE OR ASPHALT PAVEMENT MUST BE REMOVED AND REPLACED BY THE CONTRACTOR AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.
11. THE FOLLOWING LATEST MDOT STANDARD ROAD PLANS SHALL APPLY TO THIS PROJECT UNLESS THEY ARE SUPERCEDED BY CITY OF BRIGHTON STANDARD DETAILS:
PLAN NO. TITLE
R-7-G DRAINAGE STRUCTURES
R-7-F COVER B
R-29-1 DRIVEWAY OPENINGS & APPROACHES AND CONCRETE SIDEWALKS
R-30-G CONCRETE CURB AND CONCRETE CURB & GUTTER
R-42-F TYPICAL JOINT LAYOUTS FOR CONCRETE PAVEMENT
R-80-E GRANULAR BLANKET, UNDERDRAINS, OUTLET ENDINGS FOR UNDERDRAINS, AND SEWER BULKHEADS
R-82-D BEDDING AND FILLING AROUND PIPE CULVERTS
R-83-C UTILITY TRENCHES
THE CONTRACTOR MUST OBTAIN COPIES OF THESE MDOT STANDARD PLANS AT THE MDOT WEBSITE (WWW.MICHIGAN.GOV/MDOT) AND MUST COMPLY WITH ALL REQUIREMENTS.
12. THE CONTRACTOR MUST PROVIDE ALL MEASURES REQUIRED FOR TRAFFIC CONTROL DURING CONSTRUCTION AS REQUIRED BY CITY OF BRIGHTON AND IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE 2011 EDITION OF THE MICHIGAN MANUAL OF TRAFFIC CONTROL DEVICES IS MARKED, AND SECTION 912 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CONTRACTOR MUST PLACE PLASTIC DRUMS, TEMPORARY SIGNING, LIGHTED ARROWS, YELLOW CONSTRUCTION WARNING TAPE, AND ANY OTHER MEASURES REQUIRED TO PROTECT THE PUBLIC DURING CONSTRUCTION.
13. ALL PARKING SPACE LINES, CROSSWALKS, STOP BARS, & PAINTED ISLANDS SHALL BE MARKED WITH 4" WHITE REFLECTIVE PAINT. ALL HANDICAP PARKING SPACE LINES SHALL BE MARKED WITH 4" BLUE REFLECTIVE PAINT. HANDICAP SYMBOLS SHALL BE MARKED WITH 4" BLUE REFLECTIVE PAINT. ALL MATERIALS SHALL COMPLY WITH SECTION 911 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
14. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVEMENT. THE CONTRACTOR MUST PROPERLY REPAIR ANY DAMAGE CAUSED BY THEIR OPERATIONS AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.

DETENTION BASIN PLAN & CALCULATIONS

1101 RICKETT ROAD SITE - DRAINAGE AREA (NORTH)			
100 YEAR STORM EVENT REQUIRED & PROVIDED STORAGE VOLUME			
Site Drainage Area =	31,135 Sft	0.715 Acres	
Weighted Runoff Coefficient			
On-site Type of Surfaces	Total Sft	Multiply	Runoff Coeff Value
Lawn Area	11,185	X	0.30 3,356
Pavement Area	7,389	X	0.90 6,650
Roof Area	9,063	X	0.95 8,610
Open Water Area	3,498	X	1.00 3,498
Totals	31,135		22,113
Weighted "C" Formula = 22,113 / 31,135 = 0.7102			
Site Weighted "C" Factor = 0.710			
Q Allowable (Per Livingston County Drain Commissioner)			
Q Allowable (Qa)	=	0.20	cfs/acre
Total Site Qa	0.715 x 0.20 =	0.143	cfs
Total Site Allowable Outflow (Qo)			
Qo = Qa(AxC) = 0.143(0.715 x 0.71) =	0.28	Cfs/Acre imperv	
Storage Time (T) (In Minutes that Maximum Storage will Occur)			
T = -25+SQRT(10312.5/Qo) = -25+SQRT(10312.5/0.28) =	T =	166.34	Minutes
Maximum Volume of Storage per acre of Imperviousness (Vs)			
Vs = 16500xT/(T+25)-(40xQoxt)			
= 16500x166.34/(166.34+25)-40x0.28x166.34 =	Vs =	12469.90	Cft/Acre imperv
Total Volume of Storage Required (Vt)			
Vt = Vs x A x C = 12469.90x0.715x0.71 =	Vt =	6,330	Cft
100 Year Highwater Elevation =	Elevation =	947.27	
Detention Basin Outlet Invert Elevation =	Elevation =	944.20	
Total Volume of Storage Provided			
Total Storage Volume Provided (See Chart This Sheet) =	6,710	Cft	
100 Year Highwater Elevation =	Elevation =	947.40	
Detention Basin Outlet Invert Elevation =	Elevation =	944.22	

Bankfull Flood Storage Volume Provided			
Bankfull Volume = 8349xAxC = 8349 x 0.715 x 0.71 =	Volume =	4,238	Cft
Bankfull Flood Elevation =	Elevation =	946.58	
First Flush Storage Volume Provided (First 1" of Rain)			
First Flush Volume = 3630xAxC = 3630 x 0.715 x 0.71 =	Volume =	1,842	Cft
First Flush Elevation =	Elevation =	945.56	
Proposed 24 Inch Perforated Riser Design			
First Flush Runoff Formula			
Qff = FFVol / 24 Hrs / 3600 Sec = 1842/24/3600	Qff =	0.021	cfs
h(avg) = 2/3 (FFelev - Outlet Invert) = 2/3(945.56-944.20) =	h(avg) =	0.906	Ft
A = Qff/0.62SQRT(64.4 x h(avg)) = 0.021/0.62SQRT(64.4x0.906) =	A =	0.0045	Sft
Orifice Area = 1/2 inch Diameter	Orifice =	0.00136	Sft
A / Orifice = 0.0045/0.00136 =	# of Holes =	3.30	3 Holes
Invert Elevation of 1/2 Inch Diameter Holes =	Invert =	944.22	Elevation
Bankfull Flood Formula			
h(avg) = 2/3 (BElev - Outlet Invert) = 2/3(946.58-944.20) =	h(avg) =	1.59	Ft
Q90 = 0.62(#FHoles)(Orifice diameter)SQRT(64.4xh(avg)) =	Q90 =	0.028	cfs
T90 = (1 sec/Q90)(1hr/3600sec)(BFVol) =	T90 =	41.7	Hours
Volume Thru First Flush = (Q90)(24hrs)(3600sec/hr) =	Volume =	2,439	Cft
Remaining Volume = BFVol - Vol ThruFF = 4,238-2,439 =	Volume =	1,799	Cft
Qbf = (RemVol / 24 Hrs / 3600 Sec) = 1,799/24/3600	Qbf =	0.021	cfs
h(avg) = 2/3 (BF-FF) = 2/3(946.58 - 945.56) =	h(avg) =	0.68	Ft
A = Qbf/0.62SQRT(64.4 x h(avg)) = 0.021/0.62SQRT(64.4x0.68) =	A =	0.0051	Sft
Orifice Area = 1/2 inch Diameter	Orifice =	0.0014	Sft
A / Orifice = 0.0051/0.0014 =	# of Holes =	3.71	4 Holes
Invert Elevation of 1/2 Inch Diameter Holes =	Invert =	945.56	Elevation
Outlet Pipe Flow Design (Restrictor Pipe)			
Qtotal Formula = 0.62A x (2gh) ^{0.5}			
Acceleration due to Gravity	g =	32.2	feet/s ²
Head on Pipe	H =	3.13	Ft
Diameter of Pipe	D =	1.725	Inch
Cross-section area of pipe	A =	0.020	Sft
Discharge	Q =	0.143	cfs
Total Site Q Allowable	Qa =	0.143	cfs

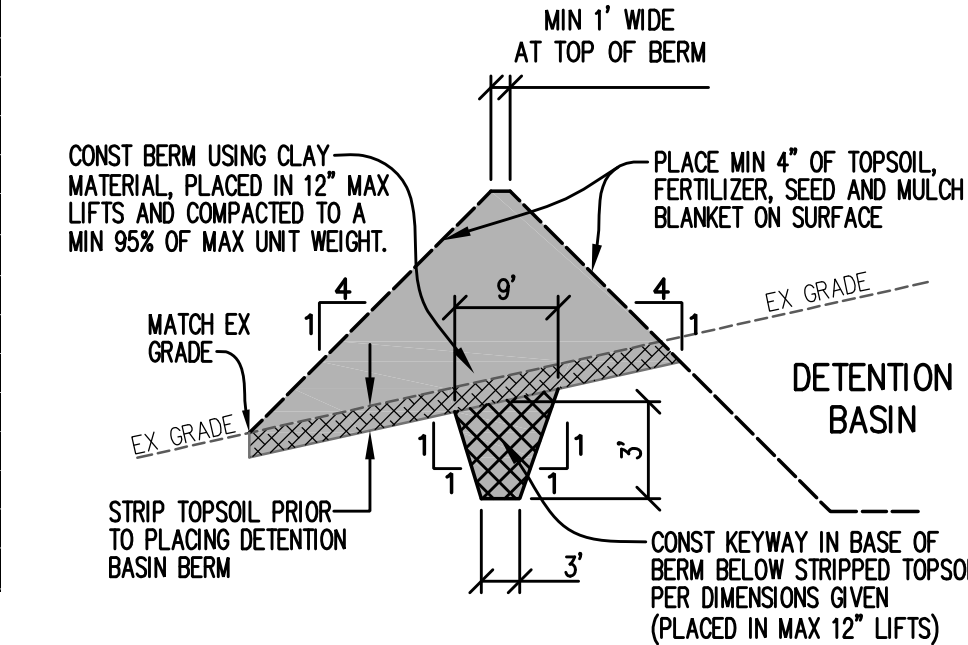
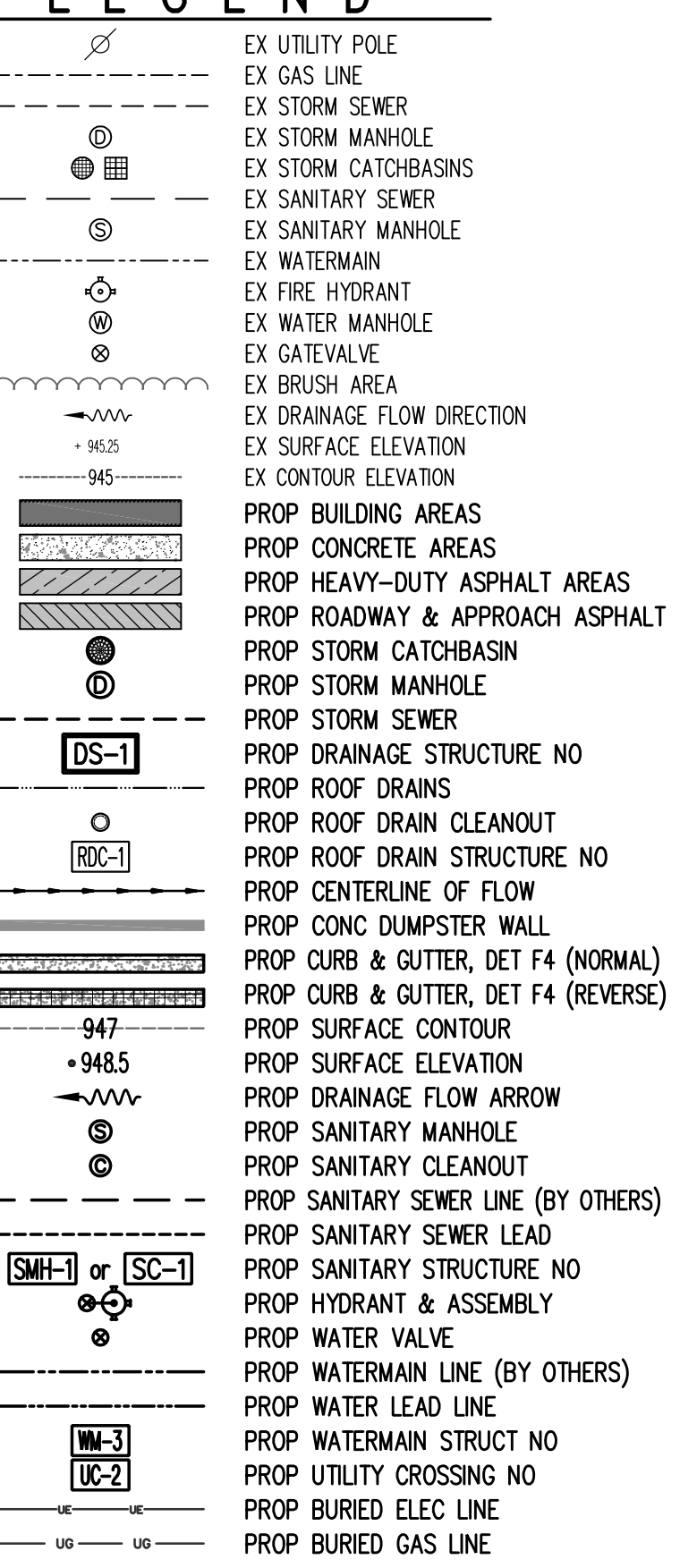
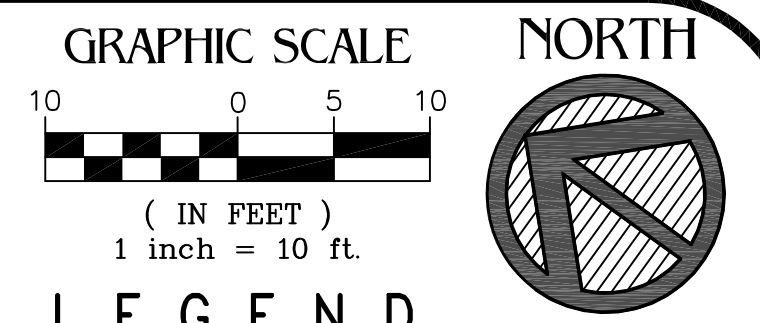
1101 RICKETT ROAD - BRIGHTON - DETENTION VOLUME PROVIDED					
Total Storage Volume Provided In Detention Basin (100 Year Highwater Elevation-947.40)					
Water Surface Elevation (Feet)	Area (Sq)	Difference in Elevation	Incremental	Total	
944.40	1182	0	0	0	
945.40	1806	1	1494	1494	
946.40	2565	1	2185.5	3679.5	
947.40	3497	1	3031	6710.5	
948.40	8810	1	6153.5	12864	
Storage Volume Provided (At 947.4) = 6,710 Cft - 6,330 Cft Storage Volume Required					

BENCHMARK NO. 1
ARROW ON HYDRANT ON WESTERLY SIDE OF RICKETT ROAD, AS SHOWN ELEVATION -749.79 (NAVD88)

FOREBAY SIZING:
5% OF TOTAL 100 YEAR STOM VOLUME = 6,710 CFT x 5% = 336 CFT (MIN REQUIRED)

DETENTION BASIN CONSTRUCTION NOTES:

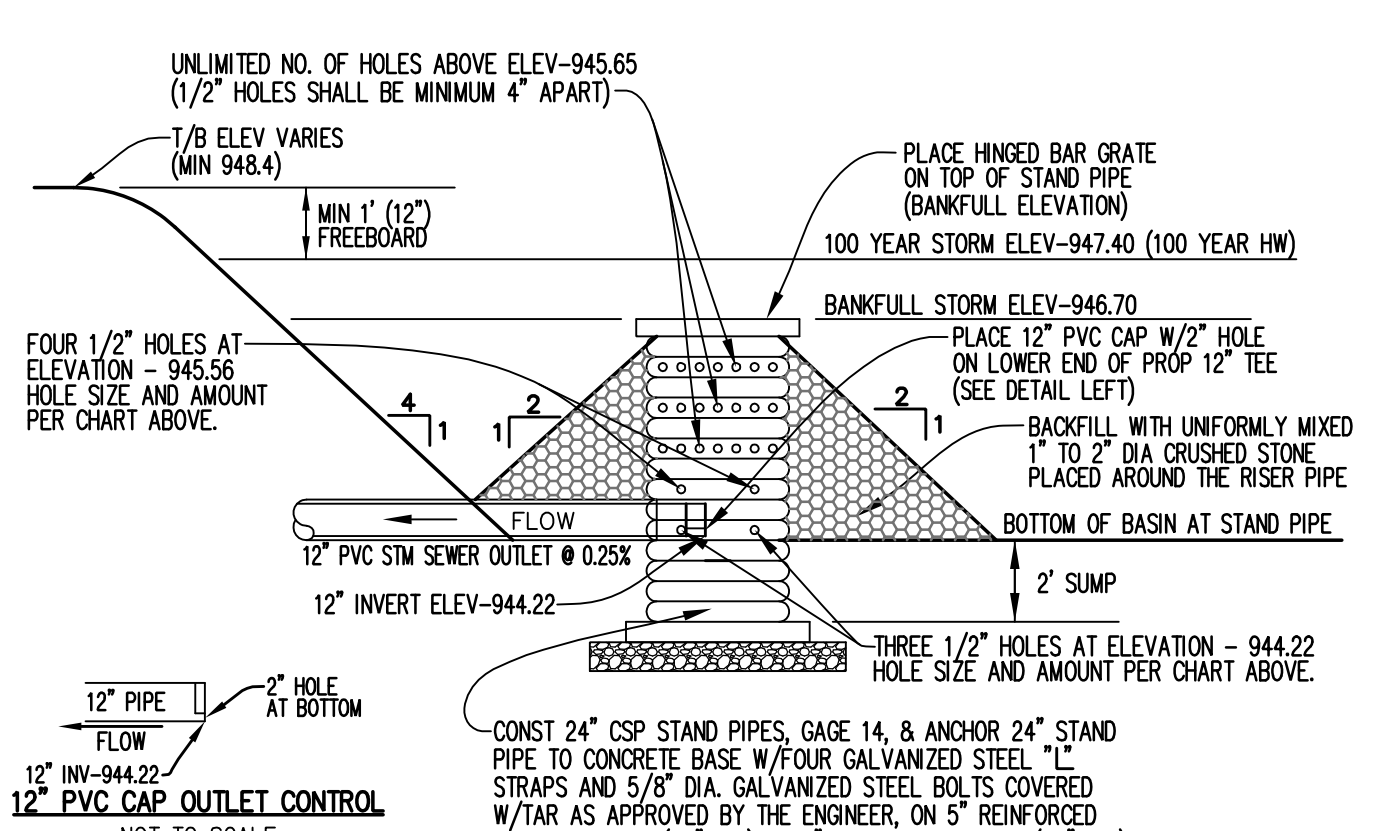
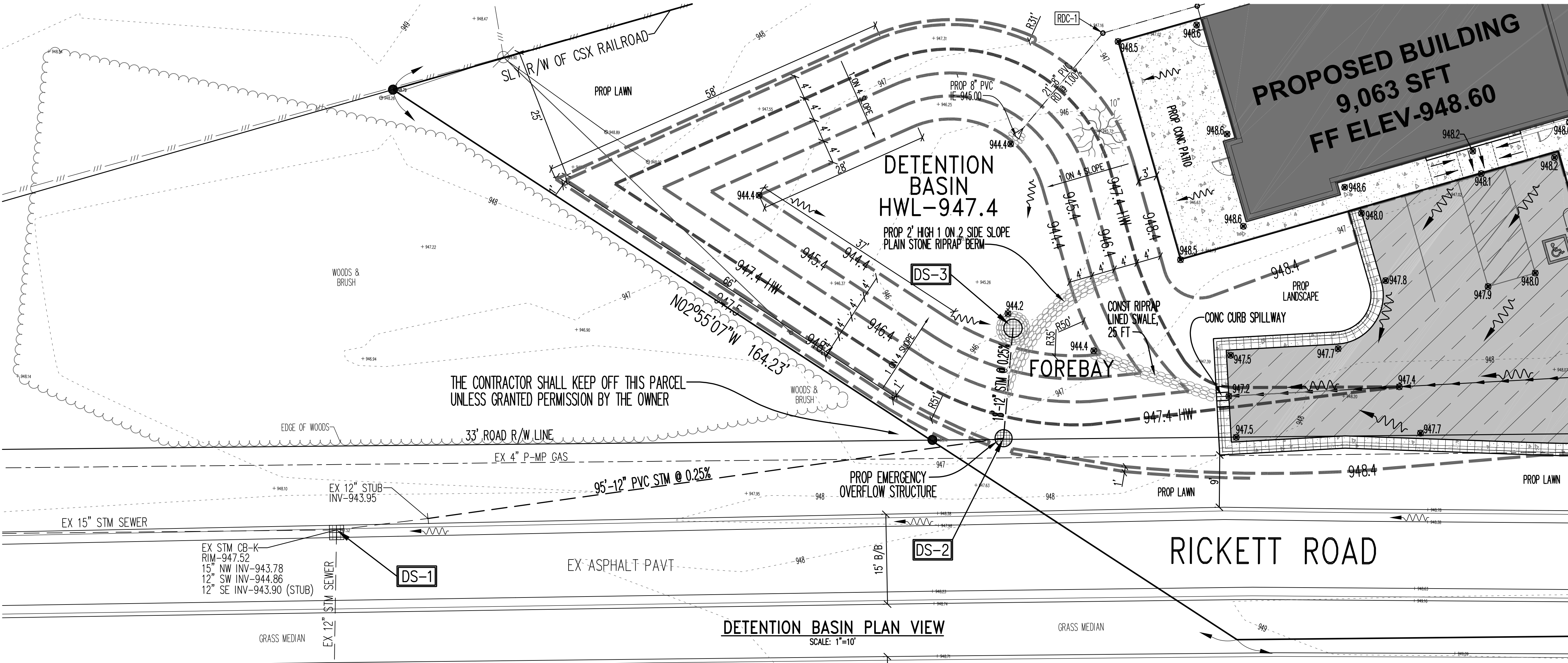
1. PLACE 3 SYD PLAIN STONE RIP-RAP AT EACH STORM SEWER OUTLET LOCATION.
2. REMOVE ALL GROWTH AND TOPSOIL WITHIN DETENTION BASIN AREA AND REMOVE DEBRIS FROM SITE.
3. FERTILIZE, SEED AND PLACE MULCH BLANKET ON SIDE SLOPES AND ANY DISTURBED AREA AROUND DETENTION BASIN.
4. DETENTION BASIN SIDE SLOPES SHALL HAVE 1 ON 4 MAXIMUM SIDE SLOPES.
5. BOTTOM OF DETENTION BASIN SHALL BE PLANTED WITH A MIXTURE OF GROUNDCOVER AND WETLAND-BASED PLANTINGS NATIVE TO MICHIGAN, SUCH AS NATIVE GRASSES OR WILDFLOWERS WITHIN 48 HOURS OF FINAL GRADE.
6. CONTRACTOR SHALL OBTAIN SOIL EROSION & SEDIMENTATION CONTROL PERMIT FROM LIVINGSTON COUNTY DRAIN COMMISSIONER - SOIL EROSION CONTROL DEPARTMENT
7. SEE THIS SHEET FOR PROPOSED 24 INCH STAND PIPE OUTLET STRUCTURE DETAILS.
8. PRIOR TO COMPLETION, THE STONE AROUND THE STAND PIPE SHALL BE REPLACED/REFRESHED WITH NEW CLEAN STONE.



DETENTION BASIN BERM X-SECTION
WHEN BERM IS ABOVE EXISTING GRADE

DETENTION BASIN SUMMARY:

TOTAL ACRES = 0.715 ACRES (31,135 SFT)
 RUNOFF COEFFICIENT "WEIGHTED C" = 0.71
 ALLOWABLE OUTFLOW = 0.143 CFS/ACRE
 FORMULA USED: LIVINGSTON COUNTY METHOD FOR 100 YEAR STORM, BANKFULL, AND FIRST FLUSH
 VOLUME REQUIRED (100 YEAR STORM) = 6,330 CFT
 VOLUME PROVIDED (100 YEAR STORM) = 6,710 CFT
 100 YEAR HIGHWATER ELEV = 947.40
 BANKFULL ELEV = 946.58
 FIRST FLUSH ELEV = 945.56
 PROP 12 INCH OUTLET INVERT = 944.22
 PROPOSED RESTRICTOR SIZE = 2.0 INCH
 EMERGENCY OVERFLOW SPILLWAY = DS-2
 (PIPE MUST CARRY MINIMUM 0.72 CFS/ACRE FOR 100 YEAR STORM)

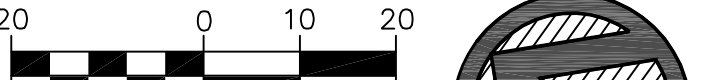


DETAIL FOR STAND PIPE OUTLET (DS-3) IN DETENTION BASIN FOR EROSION CONTROL

FILE: 085/21-120/AMAG-1101 RICKETT RD. BRIGHTON SITE PLAN - DETN - C-4

SOIL EROSION & SEDIMENTATION CONTROL PLAN

GRAPHIC SCALE NORTH



(IN FEET)
1 inch = 20 ft.

LEGEND

	EX UTILITY POLE
	EX GAS LINE
	EX STORM SEWER
	EX STORM MANHOLE
	EX STORM CATCHBASIN
	EX SANITARY SEWER
	EX SANITARY MANHOLE
	EX WATERMAIN
	EX FIRE HYDRANT
	EX WATER MANHOLE
	EX GATEVALVE
	EX BRUSH AREA
	EX DRAINAGE FLOW DIRECTION
	EX SURFACE ELEVATION
	EX CONTOUR ELEVATION
	PROP BUILDING AREAS
	PROP CONCRETE AREAS
	PROP HEAVY-DUTY ASPHALT AREAS
	PROP ROADWAY & APPROACH ASPHALT
	PROP STORM CATCHBASIN
	PROP STORM MANHOLE
	PROP STORM SEWER
	PROP DRAINAGE STRUCTURE NO.
	PROP ROOF DRAINS
	PROP ROOF DRAIN CLEANOUT
	PROP ROOF DRAIN STRUCTURE NO.
	PROP CENTERLINE OF FLOW
	PROP CONC DUMPSTER WALL
	PROP CURB & GUTTER, DET F4 (NORMAL)
	PROP CURB & GUTTER, DET F4 (REVERSE)
	PROP SURFACE CONTOUR
	PROP SURFACE ELEVATION
	PROP DRAINAGE FLOW ARROW
	PROP SANITARY MANHOLE
	PROP SANITARY CLEANOUT
	PROP SANITARY STRUCTURE NO. (BY OTHERS)
	PROP SANITARY SEWER LEAD
	PROP SANITARY STRUCTURE NO.
	PROP HYDRANT & ASSEMBLY
	PROP WATER VALVE
	PROP WATERMAIN LINE (BY OTHERS)
	PROP WATER LEAD LINE
	PROP WATERMAIN STRUCTURE NO.
	PROP UTILITY CROSSING NO.
	PROP BURIED ELEC LINE
	PROP BURIED GAS LINE
	SOIL TYPE LIMIT LINE
	LIMITS OF DISTURBANCE
	SOIL EROSION CONTROL KEYS

DRAINAGE STRUCTURE SCHEDULE

NOTE: SEE SHEET C-12, CITY OF BRIGHTON STANDARD STORM SEWER CONSTRUCTION DETAIL SHEET
DRAINAGE STRUCTURE NO 1 (DS-1)
EX 4" DIA CATCHBASIN W/K COVER AND 2" DEEP SUMP
EX RIM-947.52
EX 12" INV SW-944.86
EX 15" INV SW-943.78
PROP 12" INV NE-944.18
PROP 12" INV SE-943.90

ROOF DRAIN (RD) STRUCTURE SCHEDULE

ROOF DRAIN CLEANOUT NO 1 (RDC-2)
CONST 8" CLEANOUT RISER (E/W 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-945.21
ROOF DRAIN CLEANOUT NO 2 (RDC-2)
CONST 8" CLEANOUT RISER (E/W 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-945.37
ROOF DRAIN CLEANOUT NO 3 (RDC-3)
CONST 8" CLEANOUT RISER (E/W 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-945.91
ROOF DRAIN CLEANOUT NO 4 (RDC-4)
CONST 8" CLEANOUT RISER (E/W 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-946.20
ROOF DRAIN CLEANOUT NO 5 (RDC-5)
CONST 8" CLEANOUT RISER (E/W 1573Z FRAME & COVER)
PROP RIM-948.50
PROP 8" INV NW-946.51

SANITARY SEWER STRUCTURE SCHEDULE

NOTE: SEE SHEET C-11, CITY OF BRIGHTON STANDARD SANITARY SEWER CONSTRUCTION DETAIL SHEET
SANITARY MANHOLE NO 0 (SMH-0)
EX 8" INV SE-935.11
SANITARY CLEANOUT NO 1 (SC-1)
CONST 6" CLEANOUT RISER
PLACE 6" PVC COVER
PROP RIM-949.30
PROP 6" INV SW-941.00
SANITARY CLEANOUT NO 2 (SC-2)
CONST 6" CLEANOUT RISER
PLACE 6" PVC COVER
PROP RIM-949.00
PROP 6" INV SW-940.10
SANITARY CLEANOUT NO 3 (SC-3)
CONST 6" CLEANOUT RISER
PLACE 6" PVC COVER
PROP RIM-946.40
PROP 6" INV SW-939.33

WATERMAIN STRUCTURE/APURTENANCE SCHEDULE

NOTE: SEE SHEETS C-13 & C-14, CITY OF BRIGHTON STANDARD WATERMAIN CONSTRUCTION DETAIL SHEETS
WATERMAIN STRUCTURE NO 1 (WM-1)
INSTALL A NEW DI 8" X 2" TEE, AND CONNECT TO PROP 2" TYPE X LEAD
PROP RIM-943.50
WATERMAIN STRUCTURE NO 2 (WM-2)
INSTALL A 6" GATEVALVE ASSEMBLY IN BOX (FOR HYDRANT) (NE)
PROP RIM-949.70
PROP 8" INV-943.50
WATERMAIN STRUCTURE NO 3 (WM-3)
INSTALL A NEW FIRE HYDRANT PER CITY DETAILS
PROP HYDRANT ELEV-949.50
PROP 6" INV-943.50
WATERMAIN STRUCTURE NO 4 (WM-4)
INSTALL A 2" TEMP PLUG FOR PROP BUILDING CONTRACTOR TO CONNECT
PROP 2" INV SW-942.00

UTILITY CROSSING SCHEDULE

UTILITY CROSSING NO 1 (UC-1)
PROP 12" STORM & EX 4" GASMAIN
EX 4" GASMAIN INV-945.51
PROP 12" STORM SEWER INV-944.11
UTILITY CROSSING NO 2 (UC-2)
PROP 2" WATER LEAD & EX 4" GAS
PROP 2" WATER LEAD INV-942.41
EX 4" GASMAIN INV-947.11
UTILITY CROSSING NO 3 (UC-3)
PROP 6" WATERMAIN & EX 4" GAS
PROP 6" WATERMAIN INV-942.21
EX 4" GASMAIN INV-945.51
UTILITY CROSSING NO 4 (UC-4)
PROP 6" SAN LEAD & EX 4" GAS
PROP 6" SAN LEAD INV-939.11
EX 4" GASMAIN INV-945.01

BENCHMARK NO. 1

ARROW ON HYDRANT ON WESTERLY SIDE OF RICKETT ROAD, AS SHOWN
ELEVATION-749.79 (NAVD88)

SOIL EROSION AND SEDIMENTATION CONTROL (SESC) NOTES:

- SOIL EROSION: THE CONTRACTOR SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWERS, CULVERTS, ETC. AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE CONTRACTOR AT THE COST OF THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF CITY OF BRIGHTON AND THE LIVINGSTON COUNTY DRAIN COMMISSION. SOIL EROSION DEPARTMENT (LCOO-SESC). THE CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT OR WAIVER FROM LCOO-SESC PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- CONTRACTOR SHALL PLACE AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY CITY OF BRIGHTON AND/OR THE LCOO-SESC, AND AS SHOWN ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS ALL PERMANENT EROSION CONTROL MEASURES HAVE BEEN COMPLETED AND APPROVED BY CITY OF BRIGHTON, AND/OR THE LCOO-SESC.
- EROSION AND ANY SEDIMENT CREATED FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN ANY DRAINAGE FACILITIES. DRAINAGE FACILITIES INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
- ALL MUD, DIRT, AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. ALL MUD, DIRT, AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- CONTRACTOR MUST IMPLEMENT APPROPRIATE MEASURES AS REQUIRED TO CONTROL DUST AT ALL TIMES, AS APPROVED BY CITY OF BRIGHTON AND/OR THE LCOO-SESC.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- FAILURE TO COMPLY WITH ALL APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS MAY RESULT IN WORK STOPPAGE BY HAMBURG TOWNSHIP AND/OR THE LCOO-SESC.
- CONTRACTOR MUST IMMEDIATELY HAUL AWAY ALL EXCAVATED DIRT TO AN APPROVED OFF SITE LOCATION, OR TEMPORARILY STORE THE MATERIAL ON THE SITE. ALL STORED MATERIAL MUST BE PROTECTED TO PREVENT EROSION.
- THE CONTRACTOR MUST PROVIDE A WRITTEN SCHEDULE INDICATING THE TIMING AND SEQUENCING OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND CONSTRUCTION ITEMS, INCLUDING THE INSTALLATION OF ALL PERMANENT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
- APPROXIMATELY 1.00 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT, THEREFORE A NPDES STORM WATER DISCHARGE PERMIT WILL NOT BE REQUIRED.
- THE CLOSEST STREAM OR DRAIN IS 3,200 FEET NORTHWESTERLY OF SITE. THE CLOSEST OPEN BODY OF WATER IS A DETENTION/RETENTION BASIN WHICH IS ACROSS RICKETT ROAD, 200 FEET WESTERLY OF SITE.

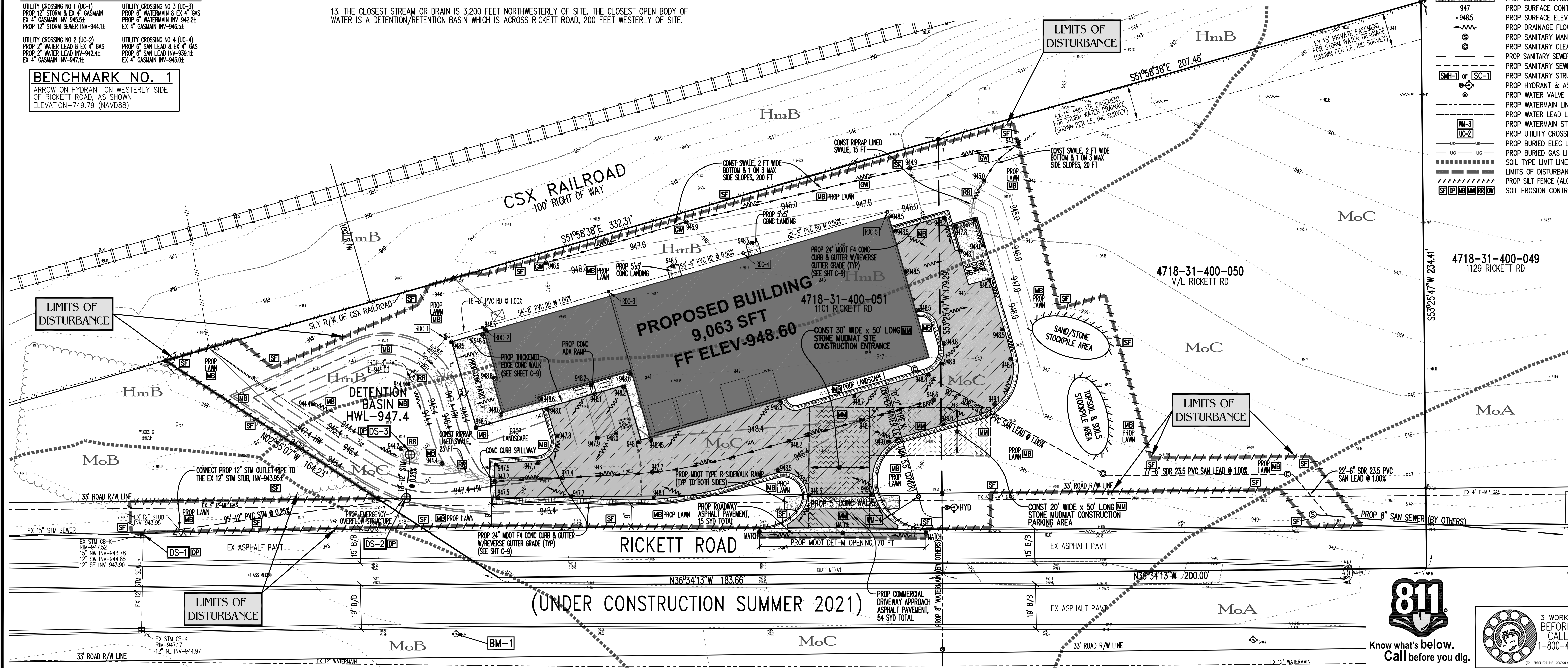
SESC MAINTENANCE NOTES:

- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING ANY PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AS REQUIRED SUCH THAT THE MEASURES ARE EFFECTIVE AND IN PROPER WORKING ORDER AT ALL TIMES.
- ALL MUD/DIRT TRACKED ONTO ROADS OR THE PARKING LOT FROM THE SITE DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, BOTH PERMANENT AND TEMPORARY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SESC CONSTRUCTION SEQUENCE:

- PLACE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AS PER THESE PLANS.
- STRIP AND STOCKPILE TOPSOIL WITHIN THE WORK AREA, AS SHOWN ON THIS PLAN.
- CONSTRUCT THE PROPOSED BUILDING, ASPHALT PARKING LOT, CONCRETE SIDEWALKS & CURBS, AND UTILITIES, AS SHOWN ON THESE PLANS.
- FINAL GRADE ALL PROPOSED LAWN AREAS AND PLACE 4" TOPSOIL, FERTILIZER, SEED, AND MULCH TO RESTORE ALL DISTURBED TURF AREAS.
- REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AFTER ALL SITE CONSTRUCTION HAS BEEN COMPLETED AND ALL NEW TURF AREAS FULLY ESTABLISHED.
- CONTRACTOR SHALL KEEP STREET AND ALL OTHER PAVEMENT CLEAN AT ALL TIMES, AND PREVENT DUST POLLUTION.

AREA OF DISTURBANCE = 1.00 ACRES

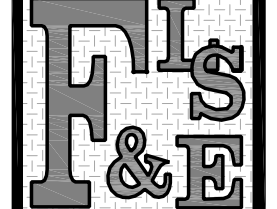


FILE: JOBS/21-120/AMAG-101, RICKETT RD, BRIGHTON - SESC - C-5

SCALE: 1"=20'
JOB NO. 21-140

PREPARED FOR:
ASSELIN McLANE ARCHITECTURAL GROUP (AMAG)
C/O DANIEL OGINSKY
4488 W BRISTOL ROAD, FLINT, MI 48507
PHONE: 810.230.9311

PART OF THE SOUTHEAST 1/4,
SECTION 31, T2N-R6E
CITY OF BRIGHTON, LIVINGSTON CO, MI



Fenton Land Surveying & Engineering, Inc
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

SOIL EROSION & SEDIMENTATION CONROL PLAN FOR:
PROPOSED WAREHOUSE BUILDING
1101 RICKETT ROAD (VACANT)
BRIGHTON, MI 48116

REVISIONS 06.28.2021	DRN. BY: DSN BY: CHK'D BY: APPR BY:	J.R.B. J.R.B. J.P.W. J.B.M.	05.19.2021 " " "	SHEET NO: C-5
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SOIL EROSION & SEDIMENTATION CONTROL DETAILS

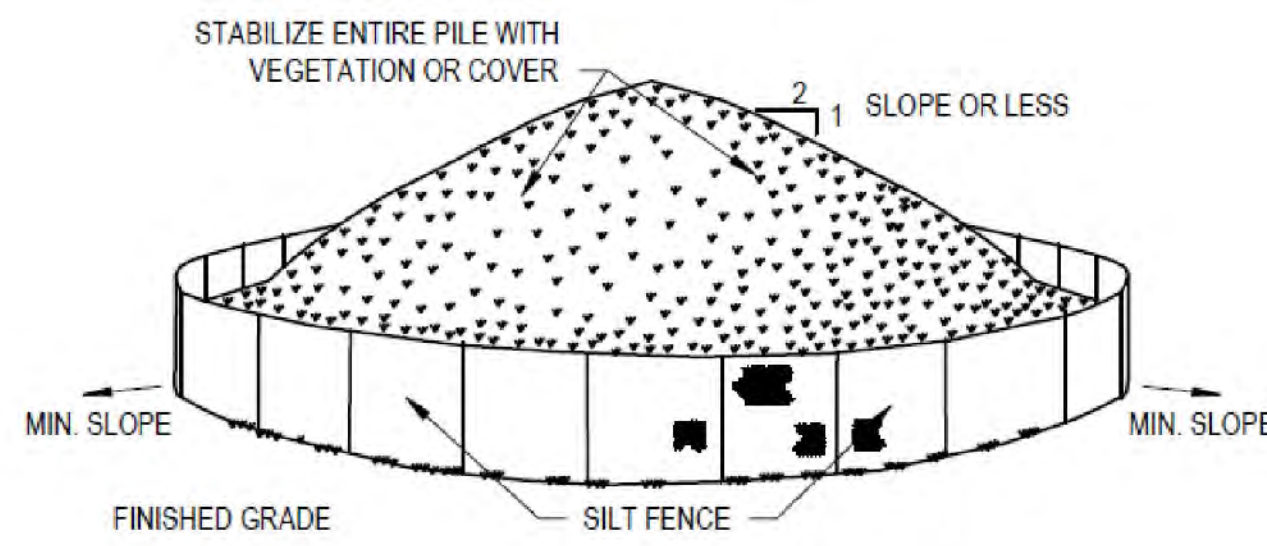
SITE SEEDING NOTES:

SITE PREPARATION:

1. CONSIDER PROTECTING SEEDED AREAS FROM PEDESTRIAN ACCESS.
2. WHERE POSSIBLE, DIVERT CONCENTRATED FLOWS AWAY FROM THE SEEDED AREA AT LEAST UNTIL THE VEGETATION IS ESTABLISHED.
3. SOIL TESTS SHOULD BE DONE TO DETERMINE THE NUTRIENT AND PH CONTENT OF THE SOIL. DEPENDING ON THE RESULTS OF SOIL TESTS, SOIL MANAGEMENT MAY BE NECESSARY TO ADJUST THE PH TO BETWEEN 6.5 AND 7.0 (FOR MOST CONDITIONS). NOTE THAT SANDY LOAM, LOAM, AND SILT LOAM ARE THE PREFERRED SOILS FOR SEEDING. CONSIDERATION SHOULD BE GIVEN TO INCORPORATING THESE SOILS INTO THE SEEDBED.
4. PREPARE A 3-5-INCH DEEP SEEDBED, WITH THE TOP 3-4 INCHES CONSISTING OF TOPSOIL. NOTE THAT THE EARTH BED UPON WHICH THE TOPSOIL IS TO BE PLACED SHOULD BE AT THE REQUIRED GRADE.
5. THE SEEDBED SHOULD BE FIRM BUT NOT COMPACT. THE TOP THREE INCHES OF SOIL SHOULD BE LOOSE, MOIST AND FREE OF LARGE CLODS AND STONES. FOR MOST APPLICATIONS, ALL STONES LARGER THAN 2 INCHES IN DIAMETER, ROOTS, LITTER AND ANY FOREIGN MATTER SHOULD BE RAKED AND REMOVED. THE TOPSOIL SURFACE SHOULD BE IN REASONABLY CLOSE CONFORMITY TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE GRADING PLANS.

PLANTING:

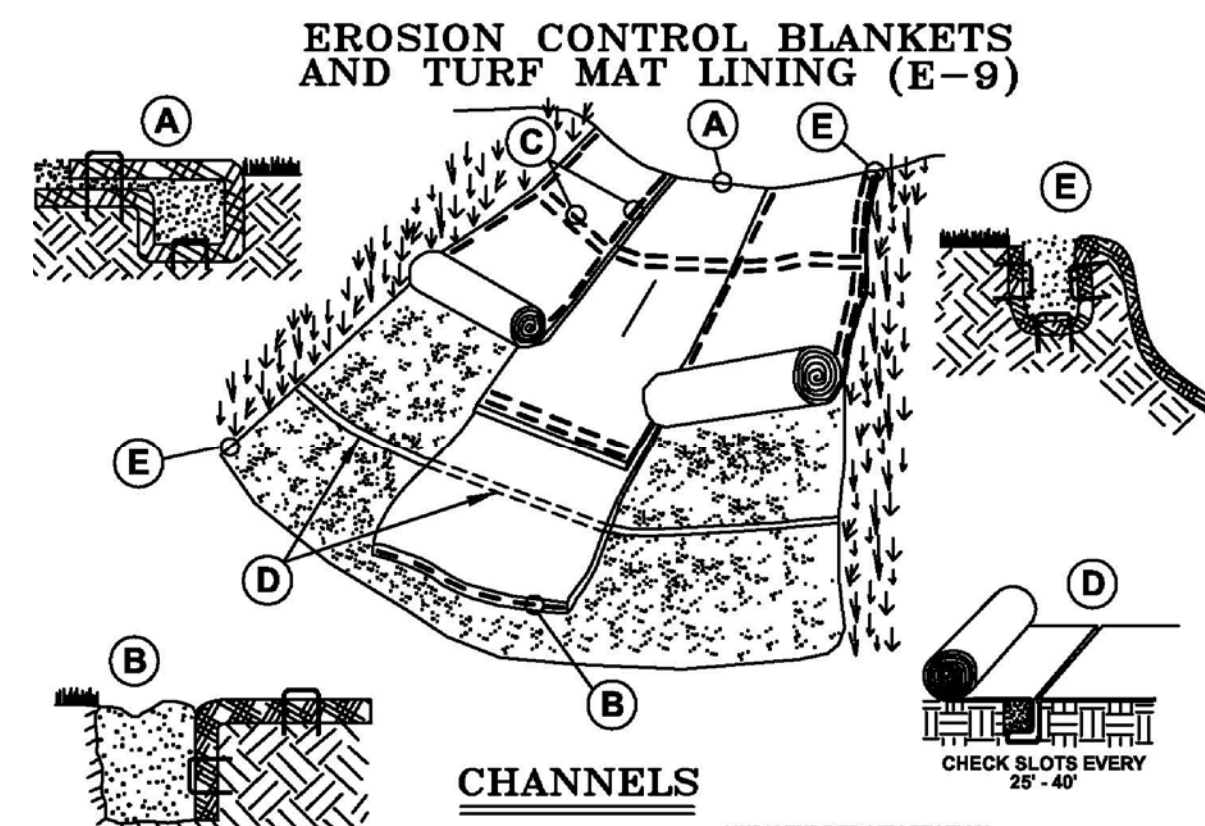
1. SEED SHOULD BE APPLIED AS SOON AFTER SEEDBED PREPARATION AS POSSIBLE, WHEN THE SOIL IS LOOSE AND MOIST. IF THE SEEDBED HAS BEEN IDLE LONG ENOUGH FOR THE SOIL TO BECOME COMPACT, THE TOPSOIL SHOULD BE HARROWED WITH A DISK, A SPRING TOOTH DRAG, A SPIKE TOOTH DRAG, OR OTHER EQUIPMENT DESIGNED TO CONDITION THE SOIL FOR SEEDING.
2. ALWAYS APPLY SEED BEFORE MULCH.
3. APPLY SEED AT THE RATES SPECIFIED IN THE ATTACHED EXHIBITS USING CALIBRATED SPREADERS, CYCLONE SEEDERS, MECHANICAL DRILLS, OR HYDROSEEDERS.
4. IDEALLY, BROADCAST SEED SHOULD BE INCORPORATED INTO THE SOIL BY RAKING OR CHAIN DRAGGING, OR OTHERWISE FLOATED, THEN LIGHTLY COMPACTED TO PROVIDE GOOD SEED-SOIL CONTACT.
5. FOR HYDROSEEDING OPERATIONS:
 - SEED SHOULD BE APPLIED AT RECOMMENDED RATES. IF NO RATES ARE GIVEN, USE 150-200 LBS/ACRE.
 - USE 2 TONS/ACRE STRAW MULCH, UNLESS OTHERWISE RECOMMENDED. USE 3 TONS/ACRE WHEN DORMANT.
6. ALL NEWLY SEEDED AREAS SHOULD BE PROTECTED FROM EROSION FORCES BY MULCH BLANKETS.



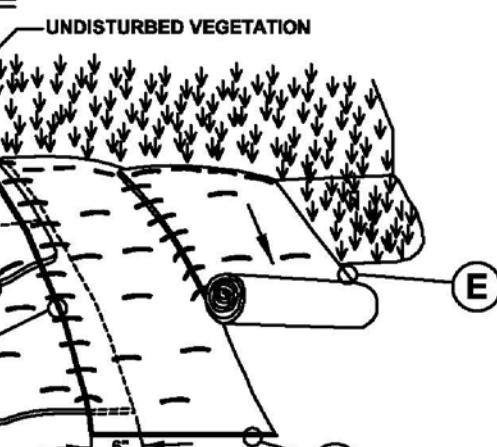
INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH REINFORCED SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

TOPSOIL AND SOIL STOCKPILE [SP]



CHANNELS

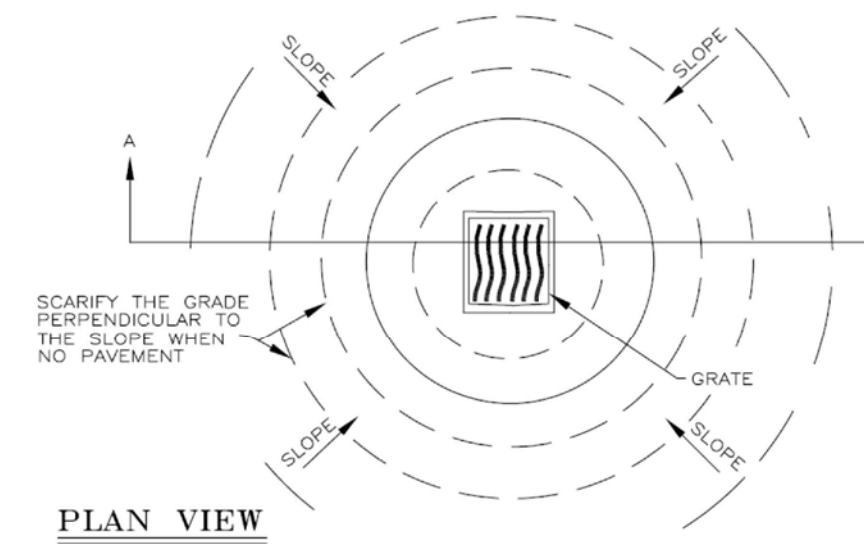


SLOPES

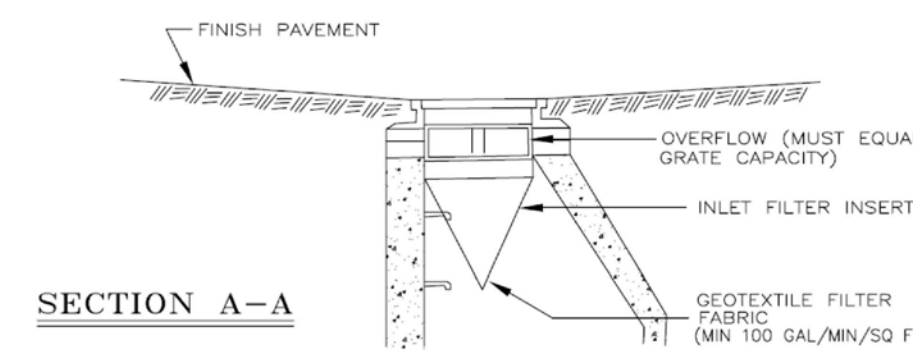
DEPENDING ON THE VELOCITY, SLOPE, SOILS, USE PROPER BLANKET OR TURF MAT LINING PER MANUFACTURER'S SPECIFICATIONS TO HANDLE THE SHEAR STRESSES OF THE SLOPE/CHANNEL.

MULCH MATTING BLANKETS [MB]

APPROVED FOR USE DURING WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



PLAN VIEW

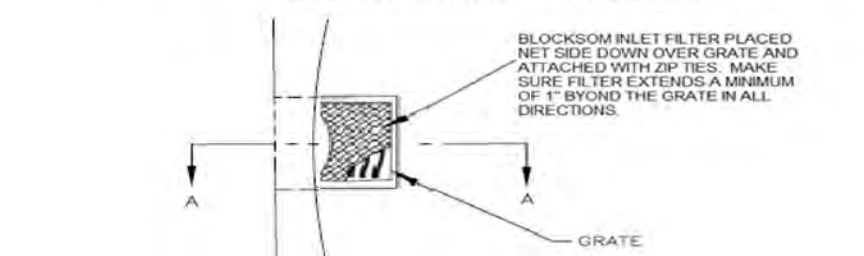


SECTION A-A

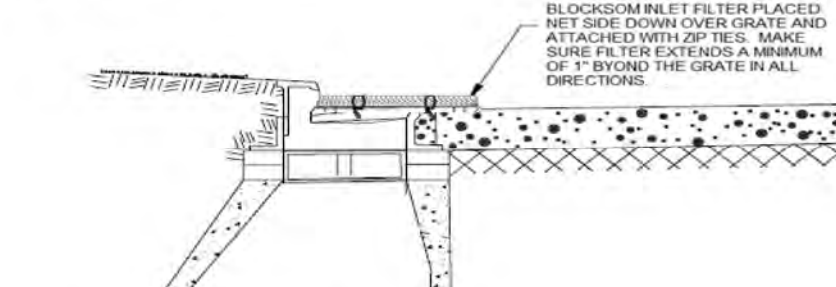
DRAINAGE STRUCTURE PROTECTION [DP]

(ALL ALTERNATIVES MUST BE PRE-APPROVED BY THE INSPECTOR ON A CASE BY CASE BASIS)

NOT FOR USE IN WINTER MONTHS OR IN AREAS THAT MAY BECOME A SAFETY HAZARD DUE TO FLOODING OR FREEZING



PLAN VIEW

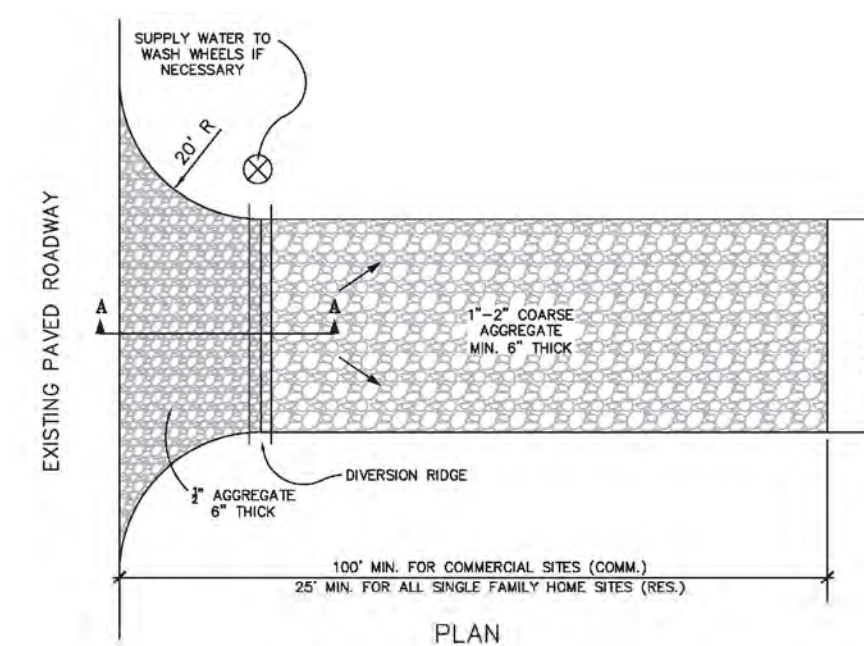


SECTION A-A

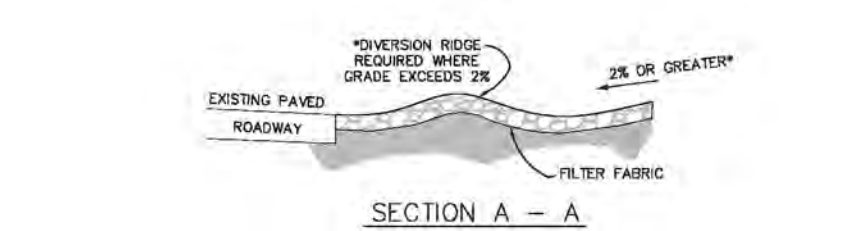
MAINTENANCE:
Clean Inlet Filter while mounted on the grate, even if ponded water surrounds the inlet. Sweep sides and top of inlet filter to remove sediment and debris after each rain event.

INSTALL PER MFG SPECIFICATIONS

DRAINAGE STRUCTURE PROTECTION-ALT [DP]



PLAN



SECTION A-A

APPLICATIONS

1. ASSISTS IN REMOVING SOIL FROM THE TIRES OF CONSTRUCTION EQUIPMENT/VEHICLES WHEN EXITING THE CONSTRUCTION SITE, THIS REDUCES TRACKING EXCESSIVE SEDIMENT/SOIL ONTO THE ADJACENT ROAD.

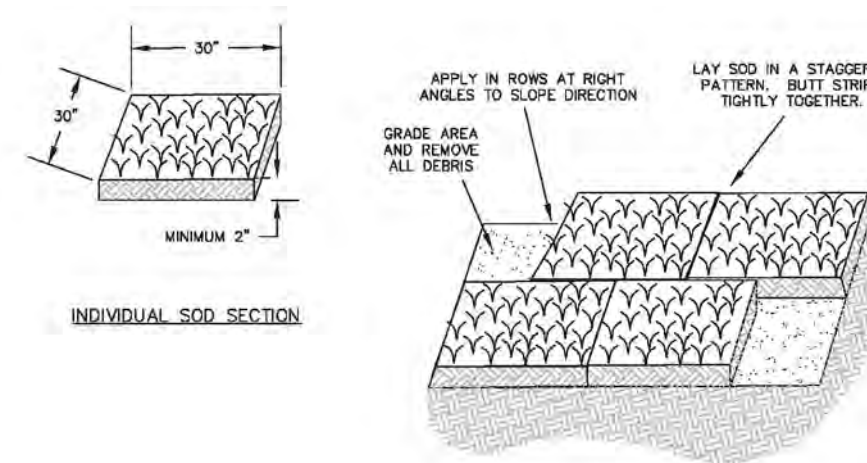
DESIGN

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOODING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP

DESIGN (CONT.)

1. DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WEEDS SHALL BE CLEARED PRIOR TO ENTRANCE ON PUBLIC RIGHTS-OF-WAY.
3. WHEN WEEDING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CROPPED SOIL THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT MARK.

TRACKING MUDMAT ACCESS DRIVE & PARKING/STAGING AREA [MM]



APPLICATIONS

1. WHEN IMMEDIATE VEGETATIVE COVER IS NEEDED ON EXPOSED AREAS.
2. APPLY ON EXPOSED AREAS/SLOPES WHERE VEGETATIVE STABILIZATION IS NEEDED SOONER THAN CAN BE ESTABLISHED BY SEEDING AND WHERE IRRIGATION IS AVAILABLE.

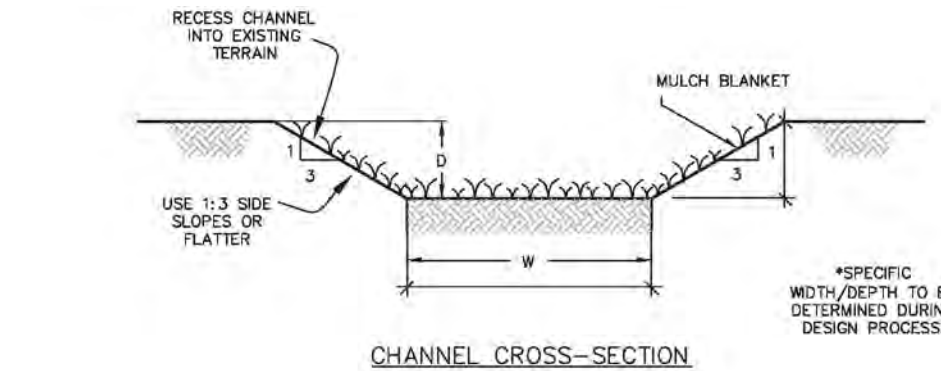
DESIGN

1. PREPARE AREA BY GRADING AND REMOVAL OF STICKS, ROCKS, ROOTS, SOIL CLODS, AND CONSTRUCTION DEBRIS.
2. COMPLETE SOIL TESTING TO DETERMINE PH AND NUTRIENT CONTENT OF SOIL.
3. APPLY SOIL AMENDMENTS AS NECESSARY PER SOIL TESTING.
4. SELECT SOD TYPE BASED ON EXPECTED EXPOSURE AND WEATHER REGIMES, PLANNED MAINTENANCE LEVEL, AND INTENDED USE.
5. STRIPS OF SOD SHOULD BE UNIFORM IN WIDTH WITH STRIPS FREE OF WEEDS.
6. CULTURED SOD SHOULD BE APPROXIMATELY 0.5\"/>

DESIGN (CONT.)

7. APPLY SOD IN ROWS PERPENDICULAR TO SLOPE DIRECTION.
8. APPLY SOD PERPENDICULAR TO WATERFLOW DIRECTION ON SLOPES OR IN FLOW PANS.
9. ON SLOPES STEEPER THAN 1:3, OR IN AREAS OF CONCENTRATED FLOW, SECURE SOD WITH 1\"/>
- 10. STAGGER ENDS OF ADJACENT SOD STRIPS TO MINIMIZE CONCENTRATED FLOW AT JOINTS.
- 11. ROLL OR TAMP SOD IMMEDIATELY AFTER INSTALLATION.
- 12. ON SLOPES STEEPER THAN 1:3, OR IN AREAS OF CONCENTRATED FLOW, SECURE SOD WITH 1\"/>
- 13. WATER SOD TO THOROUGHLY MOISTEN SOIL.
- 14. WITHHOLD TRAFFIC FROM RECENTLY SODDED AREA UNTIL 24-HOUR RAIN EVENT AT A MINIMUM.
- 15. SOD CAN BE LAID BETWEEN MAY 1 AND OCTOBER 30 BETWEEN AREAS TO BE SEEDING TO IRRIGATION IS NECESSARY.

SOD/SODDING PROTECTION [SD]



APPLICATIONS

1. WHEN SURFACE FLOW VELOCITIES WITHIN A CREATED STORMWATER CHANNEL HAVE THE POTENTIAL TO CAUSE EROSION.
2. TO SLOW WATER VELOCITY AND REDUCE EROSION CHANNEL LOADING IN THE STORMWATER CHANNEL.
3. FOR USE IN CONSTRUCTED DRAINAGEWAYS WHERE RUN-OFF MAY CAUSE EROSION.

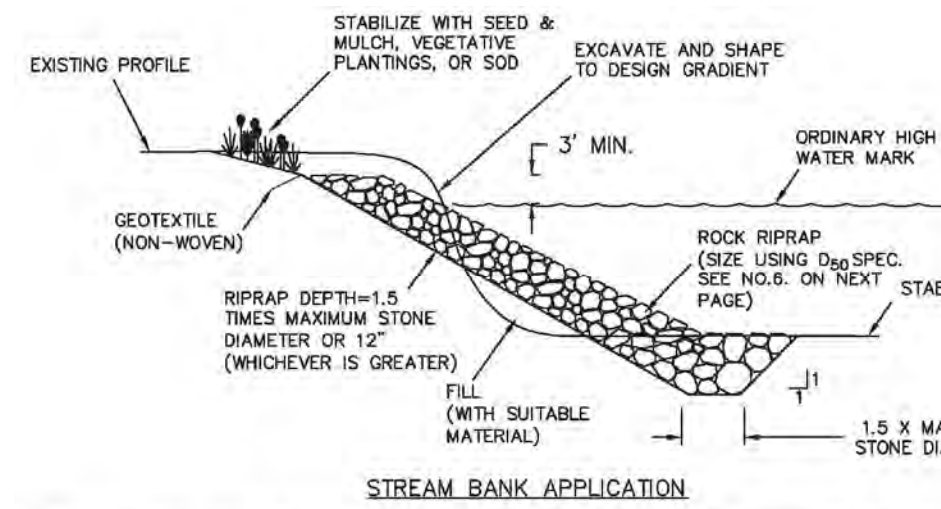
DESIGN

1. REVIEW SUBJECT SITE TO IDENTIFY CHANNEL AREAS POTENTIALLY SUSCEPTIBLE TO HIGH FLOWS, EROSION VELOCITIES OR FLOODING.
2. CONSULT A PROFESSIONAL LANDSCAPE ARCHITECT, PROFESSIONAL ENGINEER OR PEOSC BASED ON WATER VELOCITY, CHANNEL DESIGN, SLOPE, VOLUME AND SOIL TYPE.
3. GENERAL CAPACITY REQUIREMENTS SHOULD ALLOW FOR CONVEYANCE OF A 10-YEAR, 24-HOUR RAIN EVENT AT A MINIMUM.
4. CHANNEL SHAPE SHOULD EITHER BE PARABOLIC OR TRAPEZOIDAL. TRAPEZOIDAL CHANNELS ARE NOT RECOMMENDED AS THEY FORM BULGES AND INCREASE THE EROSION POTENTIAL.
5. ALL VEGETATED CHANNELS SHOULD HAVE A DEPTH OF ONE FOOT OR MORE.

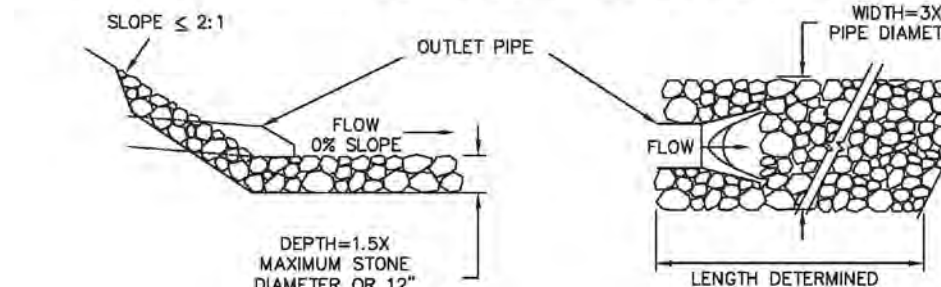
DESIGN (CONT.)

6. EXCAVATE OR GRADE CHANNEL SURFACE ACCORDING TO DESIGN. LOCATE CHANNELS IN NATURAL TOPOGRAPHIC DEPRESSIONS WHERE POSSIBLE. RECESS CHANNEL INTO EXISTING GRADE SO THAT CHANNEL TOP IS FLUSH WITH ADJACENT GRADE.
7. DETERMINE VEGETATIVE SPECIES BASED ON THE DEPTH TO WATER TABLE, CLIMATE, ANTICIPATED FLOW VELOCITIES, AND FINAL MANAGED LENGTH OF VEGETATION. UTILIZE NATIVE SPECIES FOR VEGETATION PURPOSES.
8. IN CHANNELS TO BE SEEDED, PREPARE SEEDBED, APPLY SEED, AND INSTALL MULCH BLANKET/TRM.
9. IN CHANNELS PLANTED WITH VEGETATIVE PILES OR SEEDINGS, PREPARE CHANNEL AND INSTALL MULCH BLANKET/TRM.
10. NOT RECOMMENDED TO USE DORMANT SEEDINGS DUE TO HIGH FAILURE RATE.
11. ESTABLISH VEGETATED CHANNEL PRIOR TO PERIODS OF HIGH RUN-OFF.
12. PRIOR TO CONSTRUCTION WORK IN AREA SURROUNDING CHANNEL, ALLOW VEGETATION IN CHANNEL TO ESTABLISH.
13. CHECK DAMS OR VEGETATION DISSIPATORS MAY BE NEEDED UNTIL VEGETATION IS ESTABLISHED.

GRASSED WATERWAY [GW]



STREAM BANK APPLICATION



OUTLET POINT APPLICATION

SIZE OF TYPICAL RIPRAP STONES			
Weight (lbs.)	Average Spherical Diameter (in.)	Typical Rectangular Length (in.)	Typical Rectangular Width/Height (in.)
50	10	18	6
100	11	21	8
150	14	24	8
300	18	30	10
500	22	36	12
1000	27	45	15
1500	31	52	17
2000	34	57	19
4000	43	72	24
8000	49	83	28
	54	90	30

Source: Adapted from USDA NRCS

APPLICATIONS

1. WHEN CONCENTRATED WATER FLOWS HAVE THE POTENTIAL TO CREATE SCOUR, DOWN-CUTTING, OR LATERAL CUTTING.
2. TO PREVENT LOSS OF LAND OR DAMAGE TO UTILITIES OR STRUCTURES. IN AQUATIC APPLICATIONS, RIPRAP IS USED TO CONTROL CHANNEL MEANDER AND MAINTAIN CAPACITY. PROTECT AGAINST WAVE ATTACK, AND REDUCE SEDIMENT LOAD.
3. ON SLOPES WITH PROFILES MEASURING 1:1.5 OR LESS.

DESIGN

1. REVIEW SUBJECT SITE TO IDENTIFY AREAS SUBJECT TO CONCENTRATED FLOWS OR WAVE/CURRENT ATTACK.
2. THE AREA UNDER REVIEW FOR RIPRAP PLACEMENT MUST BE GRADED AND CONTOURED APPROPRIATELY BY GRADING PRIOR TO MATERIAL PLACEMENT.
3. NON-WOVEN GEOTEXTILE FABRIC SHOULD BE INSTALLED PRIOR TO RIPRAP PLACEMENT WITH UPPER END AND TOP END OF FABRIC BURIED OR ANCHORED TO PREVENT MOVEMENT.
4. RIPRAP PLACEMENT SHOULD BE STARTED AT A STABILIZED LOCATION AND ENDED AT A STABILIZED OR CONTOURED POINT.
5. MATERIAL SELECTED FOR RIPRAP SHOULD BE HARD, ANGULAR, AND RESISTANT TO WEATHERING. APPROPRIATE MATERIAL SIZE DEPENDS ON EXPECTED WATER ENERGY AND INTENDED FUNCTION OF THE MATERIAL.

DESIGN (CONT.)

6. RIPRAP MIXTURE SHOULD BE AN EVEN MIXTURE OF STONE SIZES BASED ON THE AVERAGE, OR D_{50} , THIS MEANS SIZE OF THE STONE, BY SIZE, WILL BE LARGER THAN THE DIAMETER SPECIFIED, AND SOME WILL BE SMALLER THAN THE SIZE SPECIFIED. THE DIAMETER OF THE LARGEST STONE SHOULD NOT BE MORE THAN 1.5 TIMES THE D_{50} STONE SIZE.
7. SEE TABLE ON THE PREVIOUS PAGE FOR TYPICAL RIPRAP STONE SIZES.
8. ROCK SHALL BE PLACED SO THAT LARGER ROCKS ARE UNIFORMLY DISTRIBUTED AND IN CONTACT WITH ONE ANOTHER. SMALLER ROCKS SHOULD FILL THE VOIDS.
9. WHEN IN CONTACT WITH MOVING WATER, RIPRAP WILL TE INTO A STABLE BANK AT THE DOWNSTREAM END AND WILL BE KEPT INTO THE BANK AT THE UPSTREAM END. RIPRAP SHOULD EXTEND 3 FT. ABOVE THE ORDINARY HIGH WATER MARK OR TO THE TOP OF THE BANK ON SHORT SLOPES. EXTEND RIPRAP A MINIMUM 10 FT. BEYOND ACTIVE EROSION AREA.

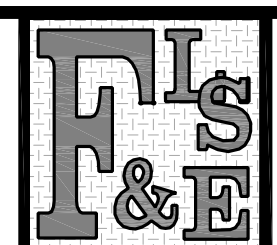
RIPRAP SLOPE PROTECTION & RIPRAP AT END SECTIONS [RR]

FILE: 0085/21-120/AMAG-1101 RICKETT RD. BRIGHTON/SESS. DETL. - COPU - C-6

SCALE: NONE
JOB NO. 21-140

PREPARED FOR:
ASSELIN McLANE ARCHITECTURAL GROUP (AMAG)
C/O DANIEL OGINSKY
4488 W BRISTOL ROAD, FLINT, MI 48507
PHONE: 810.230.9311

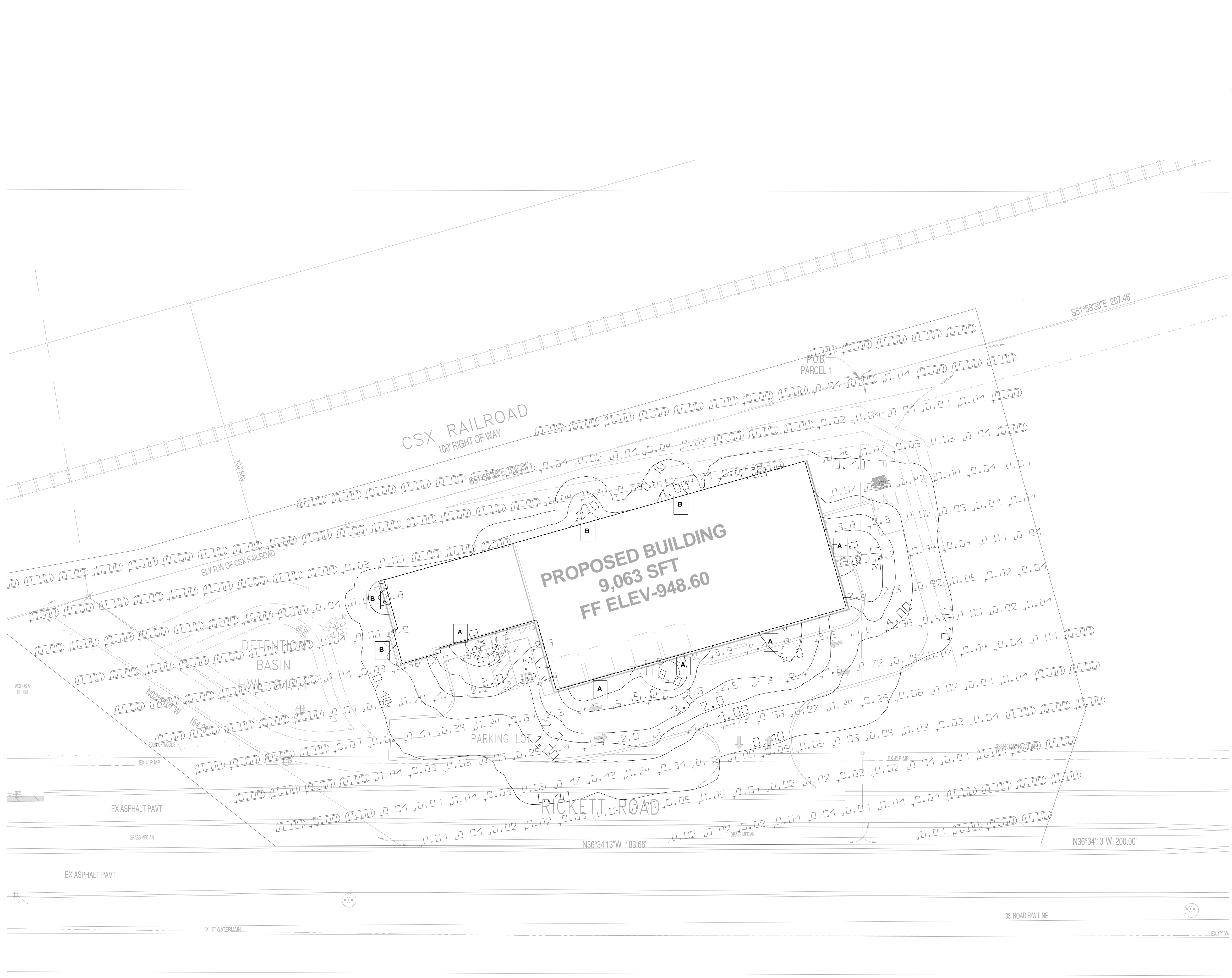
PART OF THE SOUTHEAST 1/4,
SECTION 31, T2N-R6E
CITY OF BRIGHTON, LIVINGSTON CO, MI



Fenton Land Surveying & Engineering, Inc.
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

SOIL EROSION CONTROL DETAILS & NOTES FOR:
PROPOSED WAREHOUSE BUILDING
1101 RICKETT ROAD (VACANT)
BRIGHTON, MI 48116

REVISIONS	DRN. BY:	J.R.B.	05.19.2021	SHEET NO:
06.28.2021	DSN BY:	J.R.B.	"	C-6
	CHK'D BY:	J.P.W.	"	
	APPR BY:	J.B.M.	"	



LIGHT FIXTURE SCHEDULE/DATA

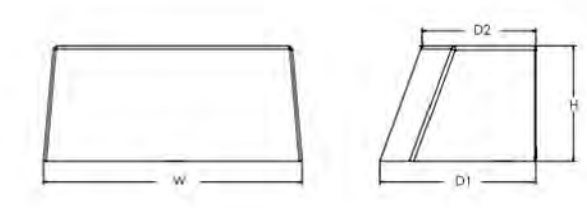
(5) FIXTURES

A

ARC1 LED
Architectural Wall Luminaire

Catalog Number: _____
Notes: _____
Type: _____

Specifications
 Depth (D1): 6.5"
 Depth (D2): 4.75"
 Height: 5"
 Width: 11"
 Weight (without options): 7 lbs



Introduction
 The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.
 ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, 30°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	-	1,500	2,000	3,000	-	-
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information EXAMPLE: ARC1 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC1 LED	P1 1,500 Lumens	30K 3000K	MVOLT	EWH Emergency battery backup, CCC compliant (400, 0°C min) PE Button type photocell for dusk-to-dawn operation DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) SPDRW 50V surge protection FAD Field adjustable light output device. Allow for easy adjustment to the desired light level, from 20% to 100%.	DDBXD Dark bronze DRBK Black DNALD Natural aluminum DWKWD White DSSXD Sandstone DDBXD Textured slate bronze DRBKXD Textured black DNALDXD Textured natural aluminum DWHKXD Textured white DSSKXD Textured sandstone
	P2 2,000 Lumens	40K 4000K	347V		
	P3 3,000 Lumens	50K 5000K			

Accessories
 WWHB DDBXDU Surface-mounted back box (specify finish)

NOTES
 1 347V not available with EWH.
 2 FAD not available with DMG.

Performance Data

Lumen Output
 Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
		Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	11W	1,376	127	0	0	0	1,454	134	0	0	0	1,464	135	0	0	0
P2	17W	2,035	121	1	0	1	2,151	128	1	0	1	2,165	129	1	0	1
P3	25W	2,859	117	1	0	1	3,021	123	1	0	1	3,041	124	1	0	1

Electrical Load

Performance Package	System Watts	Constant (A)				
		120V	208V	240V	277V	347V
P1	11W	0.111	0.061	0.053	0.047	0.045
P2	17W	0.139	0.081	0.071	0.063	0.060
P3	25W	0.208	0.122	0.108	0.097	0.081

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Lumens
EWH	620

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

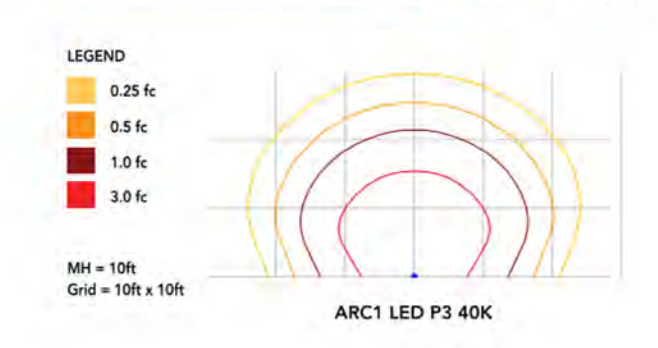
Ambient	Lumen Multiplier	
0°C	32°F	1.04
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing tested per IESNA LM-80-08 and projected per IESNA TM-21-11. To calculate LLM, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	0.97	>0.96	>0.95	>0.91

Photometric Diagrams



B

REMOTE HEAD EMERGENCY FIXTURE (4) FIXTURES



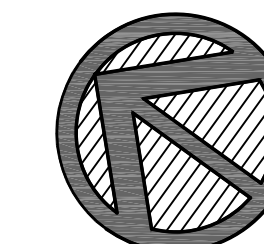
PHOTOMETRIC CAD
 1" = 20'-0"



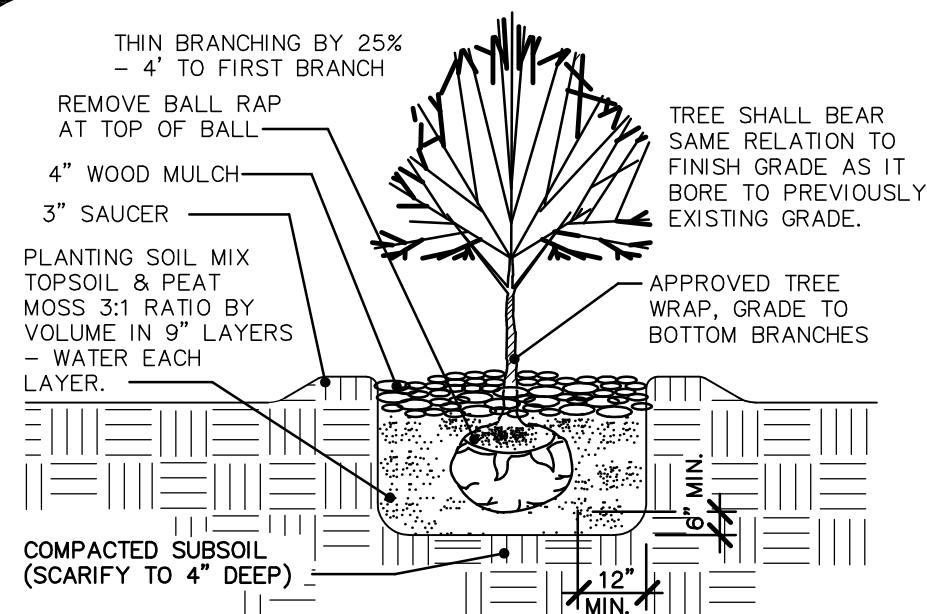
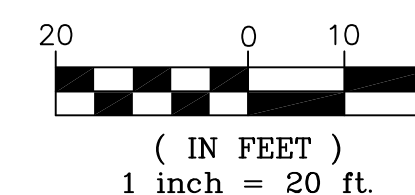
AMAG
 4485 WEST BARTON ROAD, SUITE 200, FOUNTAIN, MI 48307 PH: (810) 230-9311
 Siwek CONSTRUCTION
 PROPOSED PROJECT FOR:
Heartmonk Holdings
HQ/All Heart Garage
 Project Phase:
 Design
 Permit
 Construction
 Date _____
 Rev. Description _____
 Project # 2101
 Drawn by: Author
 Checked by: Checker
 6/29/2021 1:20:32 PM
 Revised Last Issue:
 SITE PHOTOMETRIC PLAN
 C-7

SITE LANDSCAPING PLAN

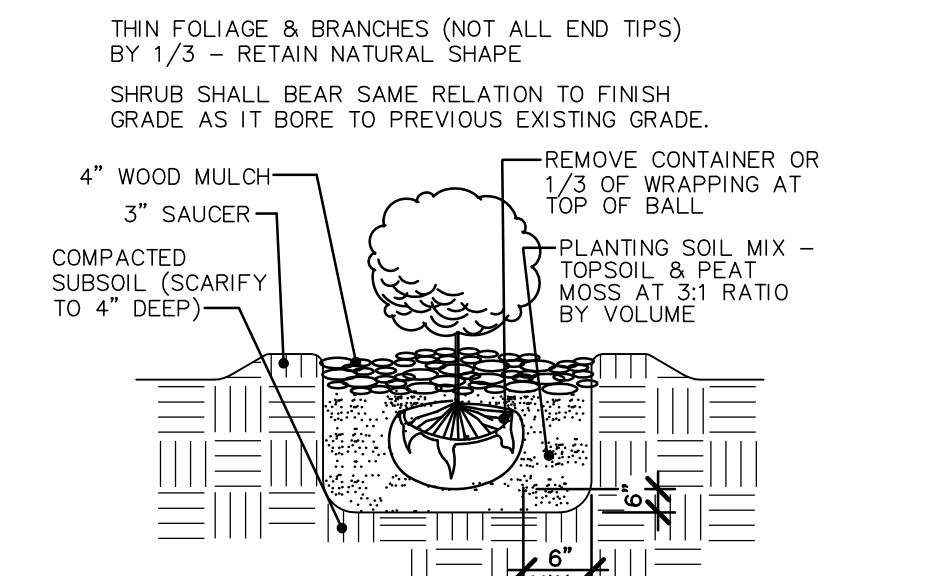
NORTH



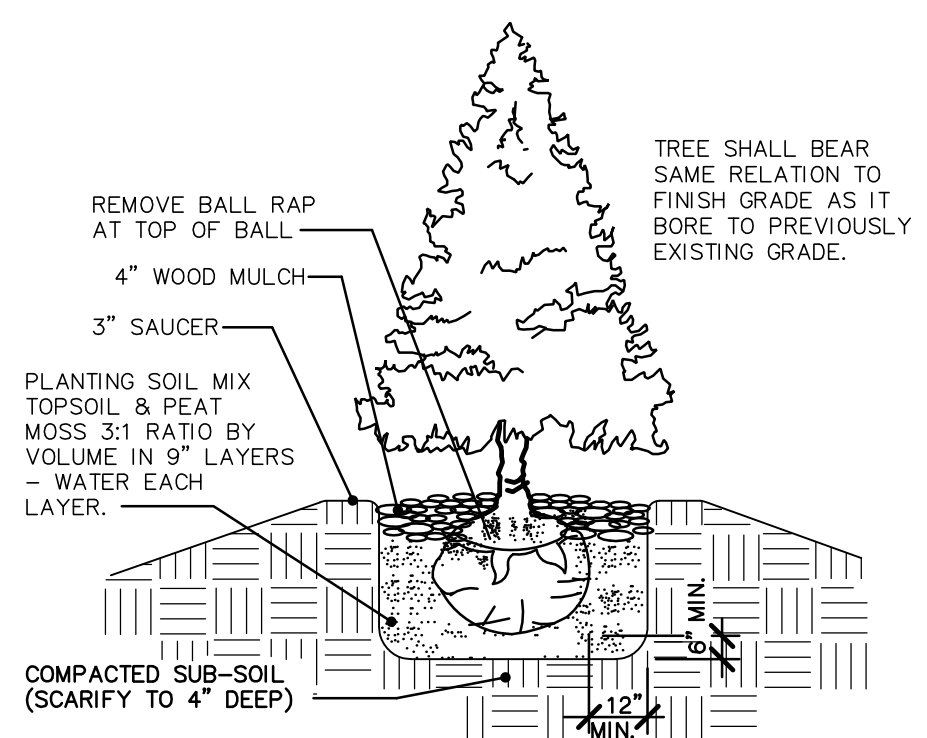
GRAPHIC SCALE



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



EVERGREEN PLANTING DETAIL



AUSTRIAN PINE



BLACK MAPLE



AMERICAN SWEETGUM



ROSE OF SHARON



CRIMSON PYGMY BAYBERRY



DWARF BURNING BUSH



WINTERGREEN BOXWOOD

BUSH / SHRUB LIST

QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE
21	A	CRIMSON PYGMY BAYBERRY	ATROPURPUREA NANA	24" HGT
30	B	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	24" HGT
45	C	WINTERGREEN BOXWOOD	BUXUS SINICA VAR	24" HGT

TREE LIST

QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE
8	D	AUSTRIAN PINE	PINUS NIGRA	6' HGT
8	E	BLACK MAPLE	ACER NIGRUM	4' TO 1ST BRANCH
7	F	AMERICAN SWEETGUM	LIQUIDAMBAR STYRACIFLUA	4' TO 1ST BRANCH
6	G	ROSE OF SHARON	HIBISCUS SYRIACUS	6' HGT 2" MIN CAL

LANDSCAPE NOTES:

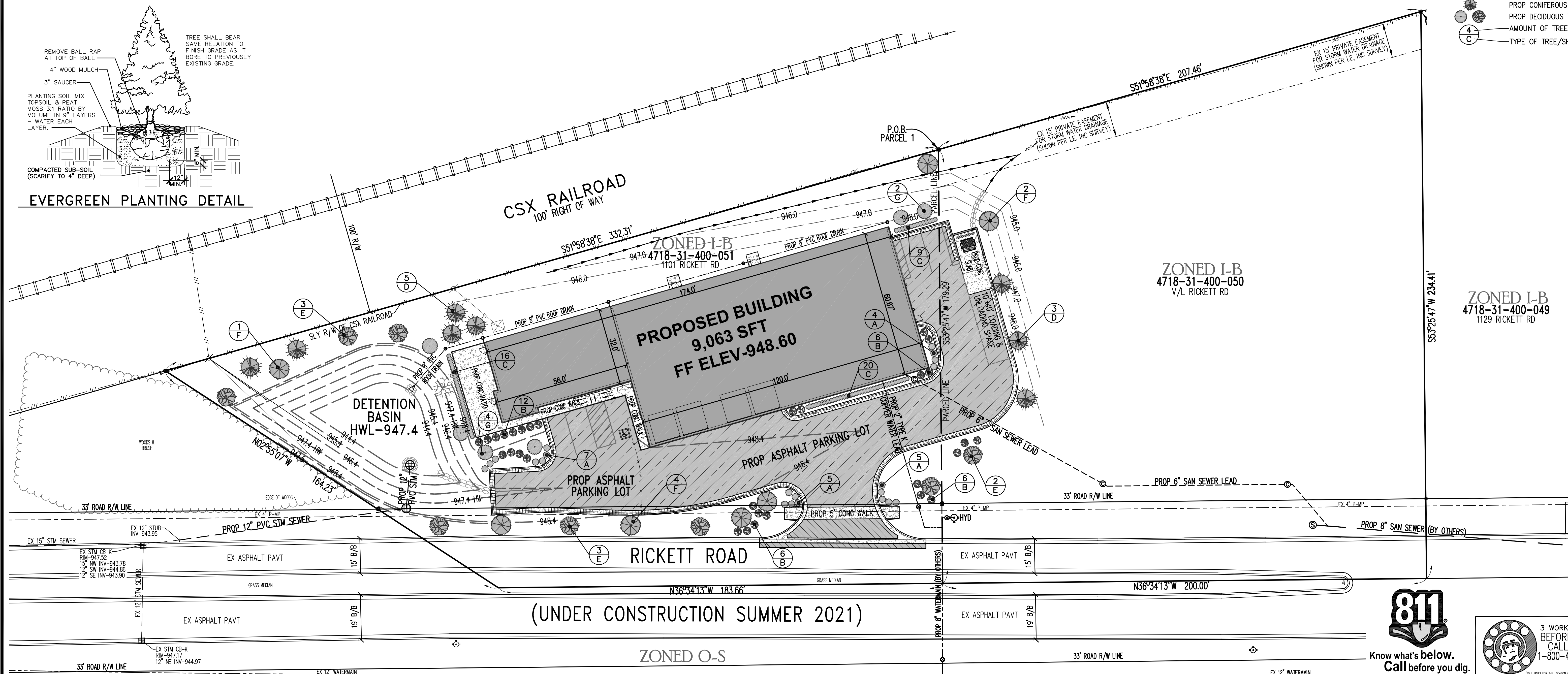
- ALL CORNER LOT PLANT BEDS TO HAVE 4" OF WOOD MULCH BEDDING PLACED ON GEOTEXTILE WEED BLOCK FABRIC
- ALL NEW LAWN TREES SHALL HAVE A 5' DIAMETER CIRCLE OF 4" WOOD MULCH BEDDING PLACED ON GEOTEXTILE WEED BLOCK FABRIC BOUNDED BY COMMERCIAL GRADE PLASTIC EDGING.
- ALL LAWN AREAS SHALL BE ESTABLISHED WITH 4" TOPSOIL SURFACE, FERTILIZER, SEED AND MULCH.
- ON-SITE IRRIGATION WILL BE DESIGNED & INSTALLED BY OTHERS.
- ALL UTILITY STRUCTURES AND TRANSFORMERS MUST BE SCREENED WITH LANDSCAPING, YET STILL REMAIN ACCESSIBLE.
- ALL SHRUBS AND BUSHES SHALL BE TRIMMED AND HEIGHTS MAINTAINED TO NO MORE THAN 36 INCHES.

LANDSCAPE PROVIDED:

- GREENBELT BUFFER:**
- 1 DECIDUOUS TREE PER 30 FEET OF ROAD FRONTAGE = 233/30 = 7.76 or 8 TREES.
 - EVERGREEN TREES = 4 TREES PROVIDED

LEGEND

- PROP HEDGE ROW
- PROP BUSHES OR SHRUBS
- PROP CONIFEROUS TREES
- PROP DECIDUOUS TREES
- AMOUNT OF TREES/SHRUBS
- TYPE OF TREE/SHRUB

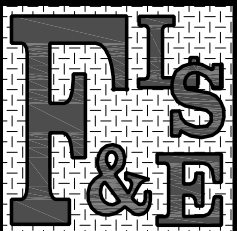


FILE: 0085/21-120/AMAG-1101 RICKETT RD BRIGHTON SITE LANDSCAPE PLAN - C-8

SCALE: 1" = 20'
JOB NO. 21-140

PREPARED FOR:
ASSELIN McLANE ARCHITECTURAL GROUP (AMAG)
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PART OF THE SOUTHEAST 1/4,
SECTION 31, T2N-R6E
CITY OF BRIGHTON, LIVINGSTON CO, MI



Fenton Land Surveying & Engineering, Inc
14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

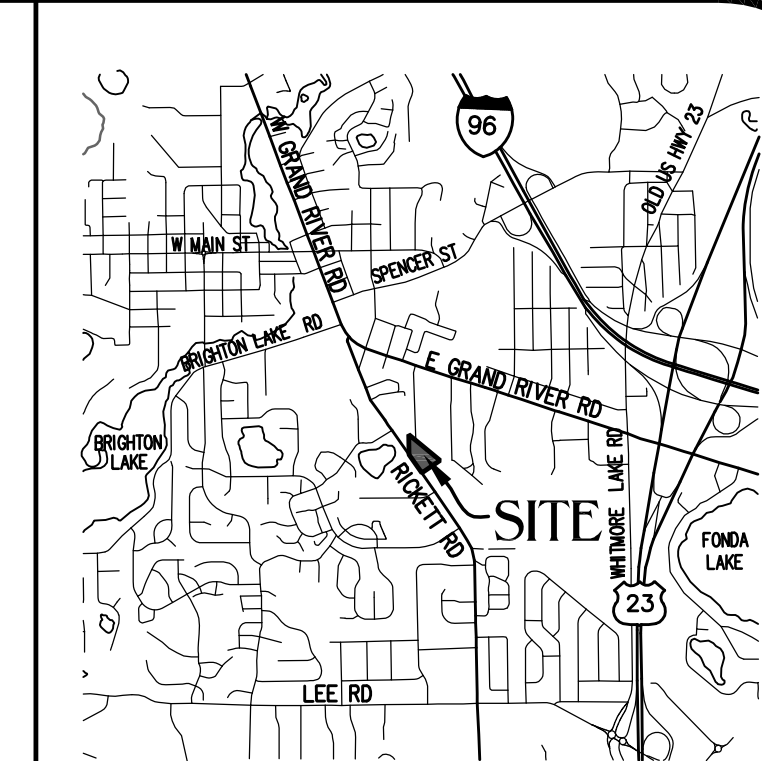
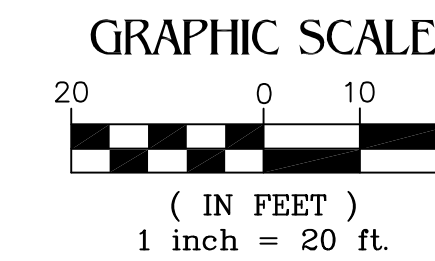
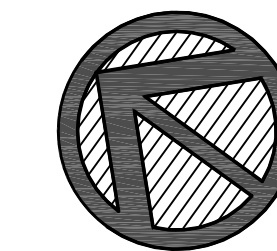
SITE LANDSCAPING PLAN FOR:
PROPOSED WAREHOUSE BUILDING
1101 RICKETT ROAD (VACANT)
BRIGHTON, MI 48116

REVISIONS	DRN. BY:	J.R.B.	05.19.2021	SHEET NO:
06.28.2021	DSN BY:	J.R.B.	"	C-8
	CHK'D BY:	J.P.W.	"	
	APPR BY:	J.B.M.	"	

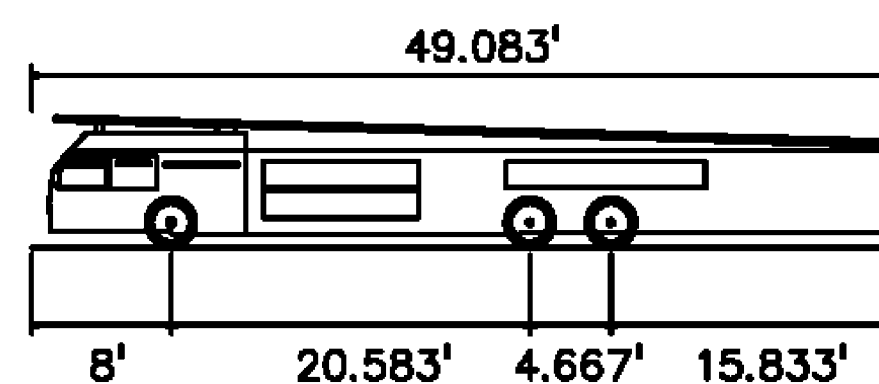


SITE FIRE PROTECTION PLAN

NORTH



VICINITY MAP



Brighton 49' Fire Truck
 Overall Length 49.083ft
 Overall Width 8.167ft
 Overall Body Height 20.583ft
 Min Body Ground Clearance 4.667ft
 Track Width 15.833ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 45.00°

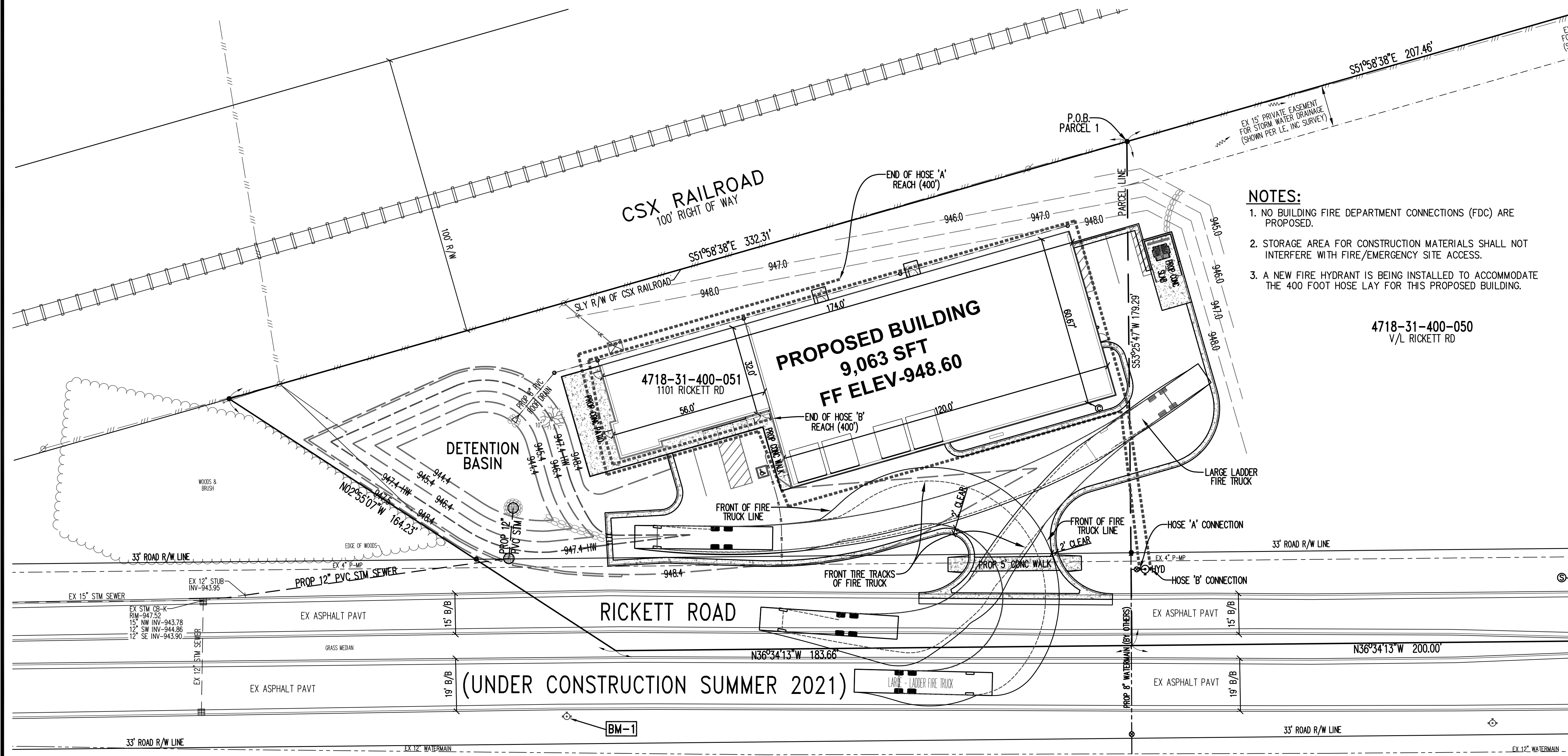
BRIGHTON - LARGE LADDER TRUCK DETAIL

NOTE: THIS TRUCK USED IN CREATING THE TRACKS FOR THIS SITE



BRIGHTON - SMALL LADDER/PUMPER TRUCK DETAIL

NOTE: THIS TRUCK CLEARS ALL OBSTACLES AS WELL



- NOTES:**
1. NO BUILDING FIRE DEPARTMENT CONNECTIONS (FDC) ARE PROPOSED.
 2. STORAGE AREA FOR CONSTRUCTION MATERIALS SHALL NOT INTERFERE WITH FIRE/EMERGENCY SITE ACCESS.
 3. A NEW FIRE HYDRANT IS BEING INSTALLED TO ACCOMMODATE THE 400 FOOT HOSE LAY FOR THIS PROPOSED BUILDING.

LEGEND

- FOUND MONUMENTATION
- ⊕ EX ROAD SIGNS
- ⊕ EX UTILITY AND/OR LIGHT POLE
- EX OVERHEAD POWERLINES
- ⊕ EX PEDESTAL
- EX BUILDING LINE
- EX GAS LINE
- ⊕ EX GAS/ELEC METER
- EX STORM SEWER
- ⊕ EX STORM MANHOLE
- ⊕ EX STORM CATCHBASINS
- ⊕ EX SANITARY SEWER
- ⊕ EX SANITARY MANHOLE
- EX WATERMAIN
- ⊕ EX FIRE HYDRANT
- ⊕ EX WATER MANHOLE
- ⊕ EX GATEVALVE
- ⊕ EX BRUSH AREA
- ⊕ EX TREE
- CONCRETE
- ASPH ASPHALT
- B/B BACK TO BACK
- EX EXISTING
- EX BUILDING AREA
- EX PAVEMENT AREAS
- EX GRAVEL AREAS
- ⊕ PROP PARKING SPACE NO.
- ⊕ PROP BARRIER FREE (ADA) PARKING
- ⊕ PROP PAINTED TRAFFIC FLOW ARROW
- ⊕ PROP WALL PACK LIGHT
- ⊕ PROP CONCRETE AREAS
- ⊕ PROP BUILDING AREA
- ⊕ PROP STORM SEWER
- ⊕ PROP STORM CATCHBASIN
- ⊕ PROP STORM SEWER
- ⊕ PROP ROOF DRAINS
- ⊕ PROP ROOF DRAIN CLEANOUT
- ⊕ PROP SANITARY CLEANOUT
- ⊕ PROP SANITARY MANHOLE
- ⊕ PROP SANITARY SEWER LEAD
- ⊕ PROP WATER SHUT-OFF VALVE
- ⊕ PROP FIRE HYDRANT
- ⊕ PROP WATER LINE
- ⊕ PROP ELEC TRANSFORMER & BURIED ELEC
- ⊕ PROP GAS METER & BURIED LINE
- ⊕ PROP FIRE HOSE LINE

4718-31-400-050
V/L RICKETT RD

PROPOSED BUILDING
 9,063 SFT
 FF ELEV-948.60

RICKETT ROAD

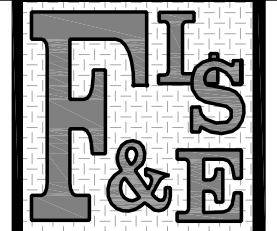
(UNDER CONSTRUCTION SUMMER 2021)

FILE: 0085/21-120/AMAG-1101 RICKETT RD BRIGHTON/SITE PLAN - FIREPP - C-15

SCALE: 1"=20'
 JOB NO. 21-140

PREPARED FOR:
ASSELIN McLANE ARCHITECTURAL GROUP (AMAG)
 C/O DANIEL OGINSKY
 4488 W BRISTOL ROAD, FLINT, MI 48507
 PHONE: 810.230.9311

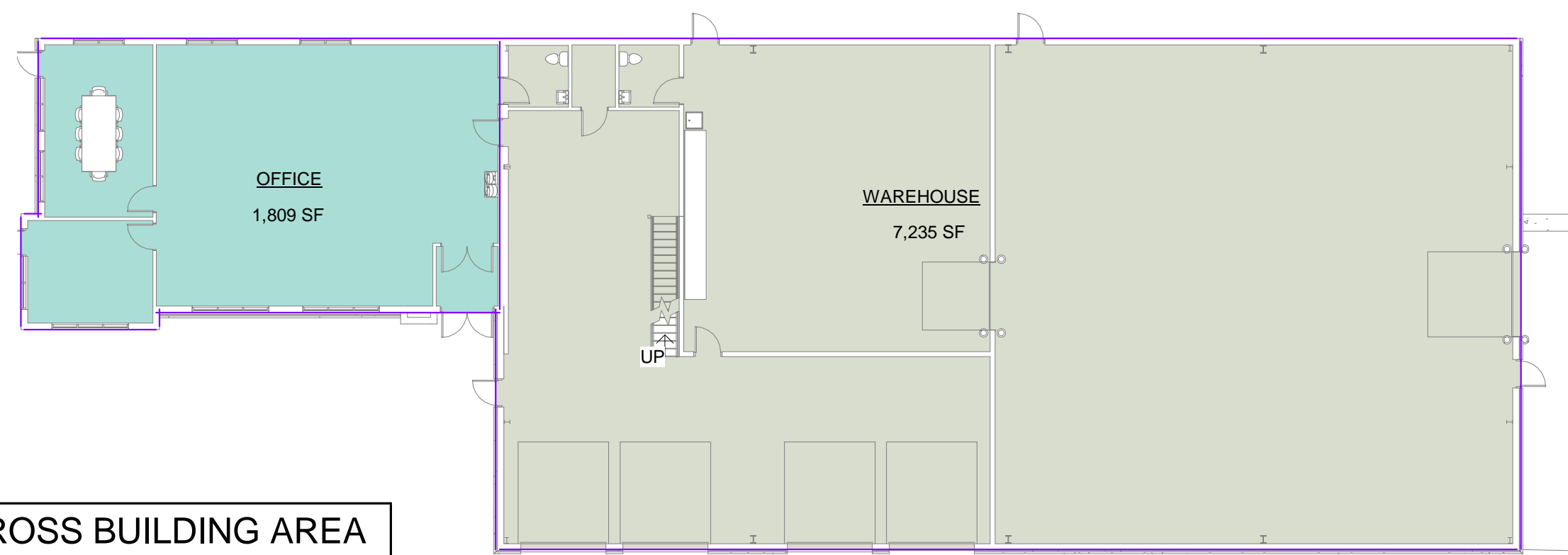
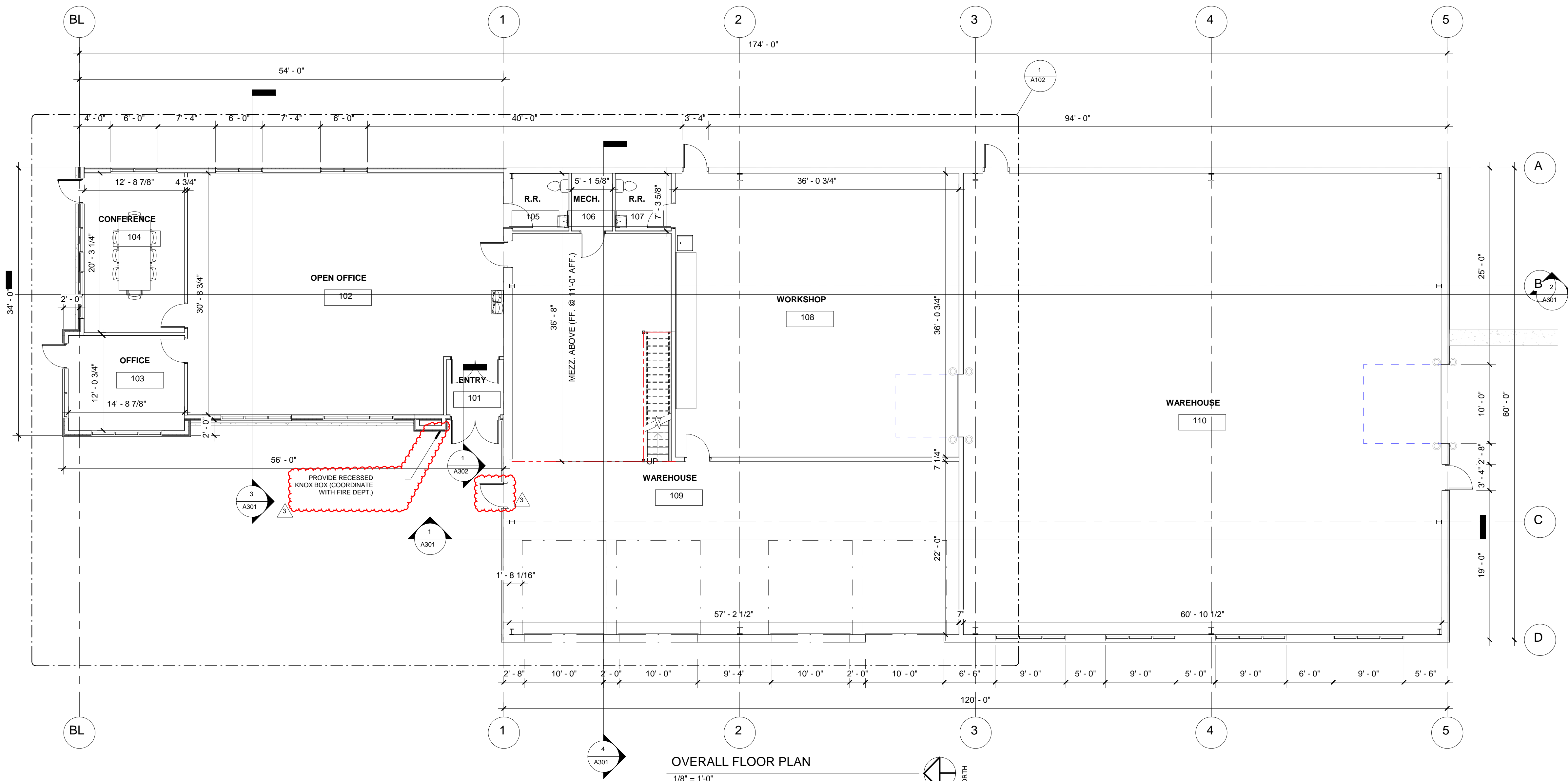
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 14165 N. FENTON ROAD, SUITE 101A, FENTON, MI 48430
 PHONE: 810.354.8115 EMAIL: INFO@FENTONLSE.COM

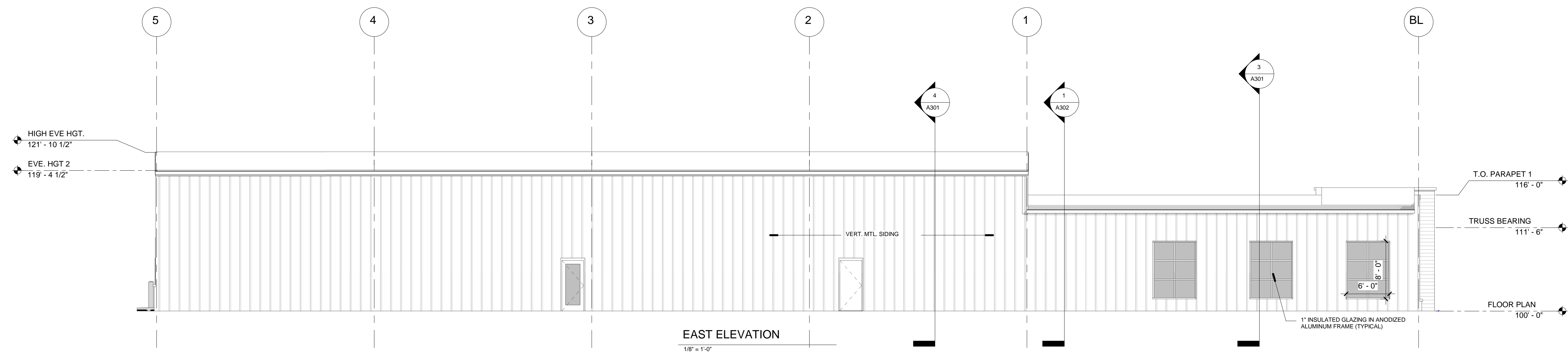
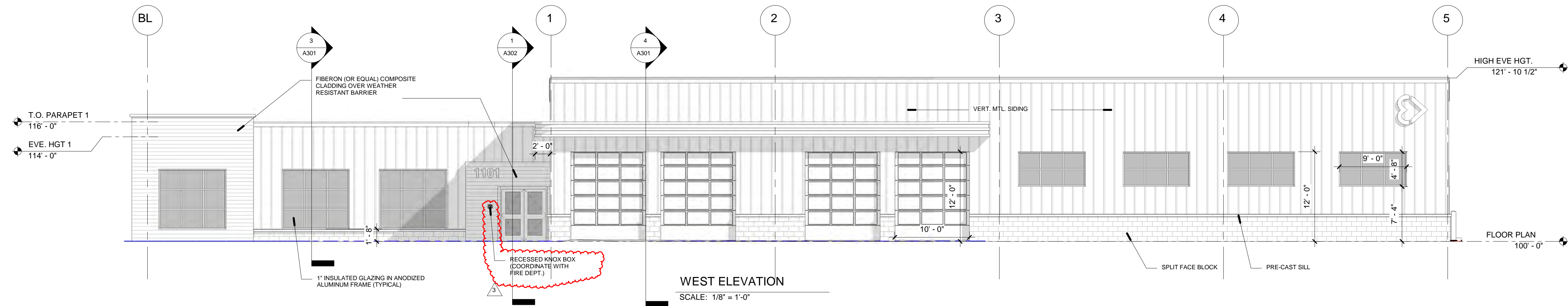
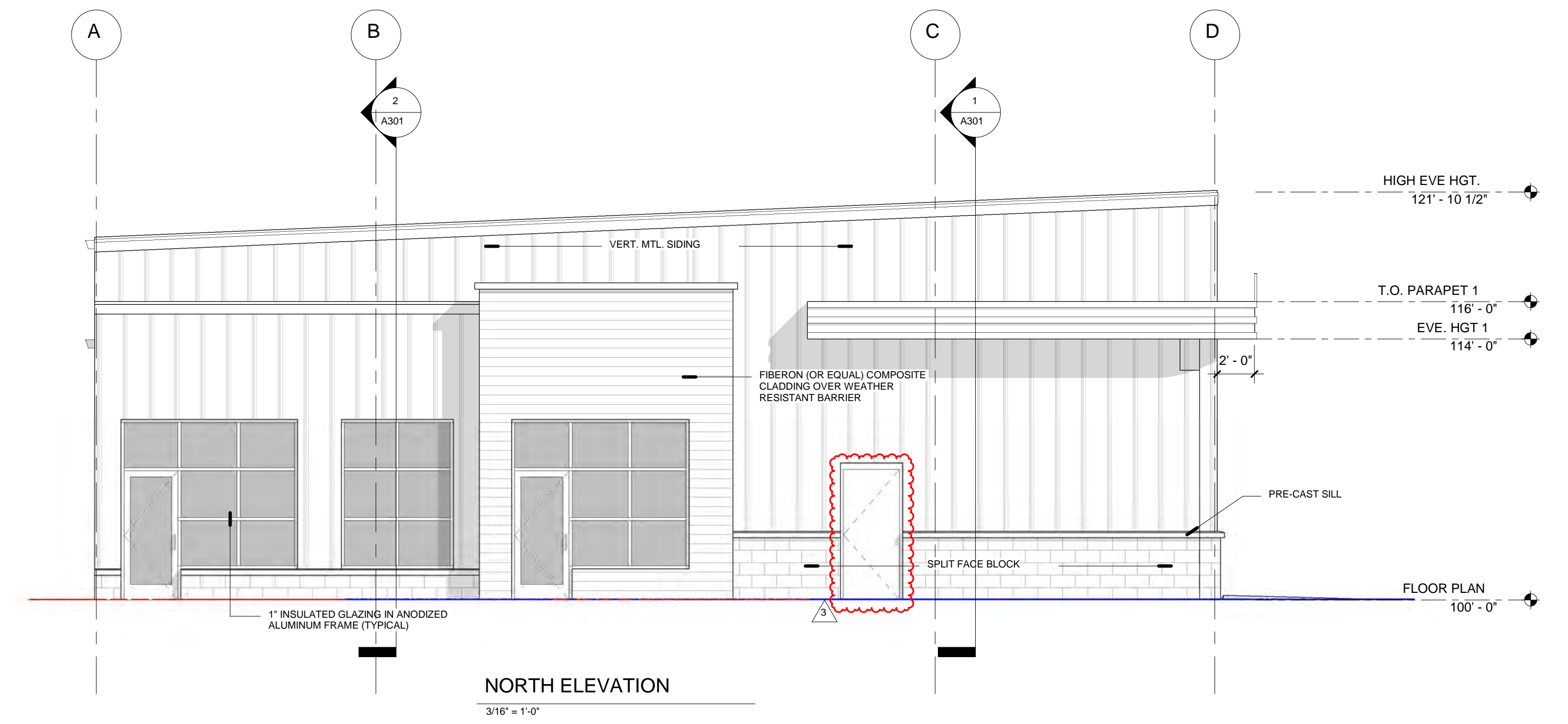
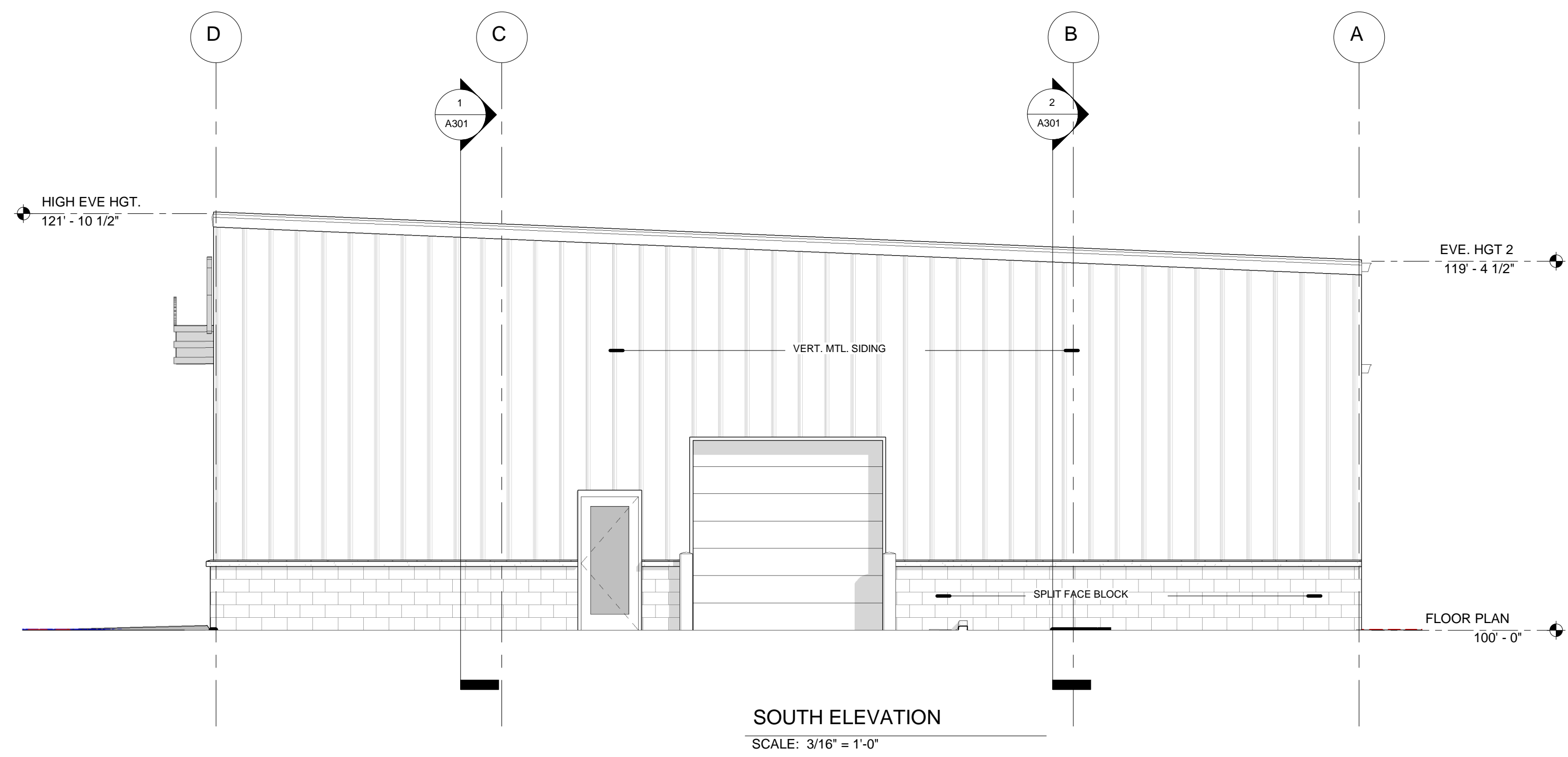
SITE FIRE PROTECTION PLAN FOR:
PROPOSED WAREHOUSE BUILDING
 1101 RICKETT ROAD (VACANT)
 BRIGHTON, MI 48116

REVISIONS	DRN. BY:	J.R.B.	05.19.2021	SHEET NO:
06.28.2021	DSN BY:	J.R.B.	"	C-15
	CHK'D BY:	J.P.W.	"	
	APPR BY:	J.B.M.	"	



GROSS BUILDING AREA	
Name	Area
WAREHOUSE	7,235 SF
OFFICE	1,809 SF
	9,044 SF

C:\Users\mchad\Documents\AMAG_jobs\2101 - Ogrank Property\Revit Model\Ogrank Property.rvt





C:\Users\mcc\OneDrive\Business\AMAG\2021\11 - Oquirrh Project\Revit\Revit Model\Oquirrh Property v4 - all.rvt



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

July 6, 2021

Mike Caruso
Building/Zoning Dept.
City of Brighton
200 North First Street
Brighton, MI 48116

RE: Heartmonic Holdings / All Heart Garage
1101 Rickett Rd., Brighton 48116
Site Plan Review

Dear Mike:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The digital plans were received for review on June 28, 2021 and the drawings are dated June 28, 2021. The project is for a 1.80-acre parcel to be developed for a proposed new construction single-story 8,983-square foot, mixed-use Business (B) and moderate storage (S-1) structure. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

All previous comments have been resolved or are noted to be addressed during construction.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Respectfully,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, FM, CFPS
Fire Marshal

cc: Sbarb@livgov.com
kari.jozwik@tetrattech.com
Dave McLane: dmclane@amagarch.com



Livingston County Department of Planning

MEMORANDUM

Kathleen J. Kline-Hudson
AICP, PEM
Director

TO: City of Brighton Planning Commission

FROM: Scott Barb, Principal Planner

Robert A. Stanford
AICP, PEM
Principal Planner

DATE: June 30, 2021

Scott Barb
AICP, PEM
Principal Planner

SUBJECT: Revised Site Plan Review #2 – Heartmonic Holdings/ All Heart Garage

A revised site plan and response letter (date 6/28/21) has been submitted for your approval of the Heartmonics Holdings/All Heart Garage to be located at 1101 Rickett Road in Brighton, Michigan. We have reviewed the revised site plan and associated response letter from the applicant and offer the following comments for the Planning Commission's consideration:

1. The applicant has clarified that there will be no outdoor storage of vehicles on the property.
2. One 10' x 40' loading space has been added to the site plan near the dumpster enclosure and is compliant with the ordinance standards.
3. Two (2) additional parking spaces have been added near the south end of the building adjacent the dumpster enclosure. The parking requirements have been met.
4. The Brighton Area Fire Authority has included comments regarding on-site emergency vehicle maneuverability.

Recommendation

All of our previous review comments have been addressed and we are recommending approval of the revised site plan for Heartmonic Holdings/All Heart Garage. Should you have any concerns or comments regarding our review, please do not hesitate to contact me at any time, and at your convenience.

Respectfully,

Scott Barb, AICP, PEM

Department Information

Administration Building
304 E. Grand River Avenue
Suite 206
Howell, MI 48843-2323

•
(517) 546-7555
Fax (517) 552-2347

•
Web Site
www.livgov.com



July 6, 2021

Mr. Michael Caruso
City of Brighton
200 North First Street
Brighton, MI 48116

**Re: Heartmonic Holdings / All Heart Garage
Site Plan Review No. 3**

Dear Mr. Caruso:

Tetra Tech has reviewed the revised site plan for the proposed Heartmonic Holdings / All Heart Garage located at 1101 Rickett Road. The 1.80-acre land development is located on parcel ID's 4718-31-400-51 and 4718-31-400-500, in the Intermediate Industrial (I-B) zoning district. The site plan, with revisions dated June 28, 2021, was prepared by Fenton Land Surveying & Engineering, and submitted in response to our June 9, 2021 review letter.

The following comments remain for your consideration:

1. The applicant is requesting the City allow the proposed parking lot to encroach into the Rickett Road right-of-way by approximately 4-feet. Typically, site improvements for private developments are maintained within the limits of the property. We recommend the City decide if this variance is acceptable.
2. We recommend the City discuss if sidewalks should be placed along Rickett Road along the property line within Rickett Road to promote future pedestrian paths within the City.
3. Due to the simplicity of the fire hydrant construction, an Act 399 Permit for Water Supply Systems from the Michigan Department of Environment, Great Lakes, and Energy (EGLE) is not required. However, the City of Brighton will need to review material shop drawings and be on-site to witness the installation of the hydrant.

RECOMMENDATION

The applicant has satisfactorily addressed our previous concerns. We have no further engineering objections to the approval of the site plan once the above comments are addressed to the City's satisfaction.

Please call me at 810.360.9842 if you have any questions or comments.

Sincerely,

A handwritten signature in black ink that reads 'Kari Jozwik'.

Kari Jozwik, P.E., LEED AP
Project Engineer

**City of Brighton
Planning Commission
200 N. First St. Brighton, MI 48116
Special Meeting Minutes
July 7, 2021**

The Board for the Planning Commission held a Special Meeting on Wednesday, July 7, 2021 at 7:00 p.m., conducted electronically.

1. Call to Order/Roll

Chairperson Smith called the meeting to order at 7:06 p.m.

Board Members present were Jim Bohn, Chuck Hundley, Ken Schmenk, Dave Petrak, Mike Schutz, Susan Gardner, Steve Monet and Matt Smith. All Members participated remotely and disclosed their location.

Also present were Kari Jozwik, Tetra Tech; Mike Caruso, Community Development Manager; Kelly Haataja, Executive Assistant to Community Development and an audience of five persons.

Members Absent were Bill Bryan.

Motion by Gardner, seconded by Schutz to excuse Commissioner Bryan for personal reasons. **Motion carried unanimously by a roll call vote.**

2. Approval of the July 7, 2021 Agenda

Motion by Monet, seconded by Hundley to approve the July 7, 2021 Agenda with an amendment to add an additional Call to the Public after item 2. **Motion carried unanimously by a roll call vote.**

Call to the Public

Chairperson Smith opened the Call to the Public at 7:09 p.m.

Susan Bakhaus claimed this Call to the Public is illegal. She further stated her disapproval of the site plan to be presented tonight because she doesn't know how fluids from cars will be disposed.

Hearing and seeing no further comments, Chairperson Smith closed the Call to the Public at 7:12 p.m.

3. Consider Recommendation of Approval for Site Plan 21-03, New Commercial Building at 1101 Rickett Rd.

Mr. Caruso provided a brief overview of the applicant's development history within the City. He mentioned the applicant received a twenty-six feet, front-yard setback variance for this site, earlier this year.

Mr. Dan Oginsky, Heartmonic Holdings defined his business operations and his intent for uses of the site, which includes storage warehouse, workshops for light maintenance projects, and office space as the headquarters for his flourishing company.

Mr. Dave McLane delivered a thorough presentation of the site plan.

Commissioner Monet commented he is impressed with the selection of materials.

Commissioner Schmenk commented he is pleased with the appearance of the building.

Commissioner Hundley commented he likes the design of the building.

Commissioner Petrak stated he doesn't foresee an issue with not placing a sidewalk in front of the building.

Commissioner Bohn commented the building is nice looking and it will be a welcoming addition to the area.

Commissioner Schutz asked if there is enough staff parking.

Mr. Oginsky stated the majority of time there will be one to two employees. Mr. McLane stated the site will provide five parking spaces, four is required, and there is room for additional parking to be added if necessary.

Commissioner Gardner thanked the applicant for considering investing in the City of Brighton again. She commented she likes the design and how it doesn't feel too industrial. She asked about potential deferred parking.

Mr. McLane explained additional parking could be provided on the adjacent parcel, also owned by the applicant.

Commissioner Smith commented he likes the design features and appreciates the light uses proposed for the site.

Commissioner Monet suggested a requirement for providing a sidewalk along Rickett Rd.

Mr. Oginsky stated he supports walkability and although he is not opposed to providing a sidewalk, he asked the board for consideration with there being a sidewalk across Rickett Rd.

Commissioner Bohn offered an outline of sidewalks on Rickett Rd. and commented he doesn't see a useful purpose for requiring one.

Motion by Gardner, seconded by Schmenk that site plan 21-03 be considered for approval with the use of deferred parking language, as described in Section 98-5.6 (b)(4) of the zoning ordinance. **Motion carried unanimously by a roll call vote.**

4. Staff Updates

Mr. Caruso stated there will be a public hearing at the July 15th City Council meeting for the recommendation of denial to the West Village site plan.

5. Commissioner Report

Commissioner Bohn cited the City Charter, and noted adding a call to the public to the agenda is not a “Business” item, and stated the comment made in the Call to the Public earlier tonight is misdirected.

6. Call to the Public

Chairperson Smith opened the Call to the Public at 7:52 p.m. Hearing and seeing no comments, Chairperson Smith closed the Call to the Public at 7:52 p.m.

7. Adjournment

Motion by Petrak, seconded by Schutz to adjourn the meeting. **Motion carried unanimously by a roll call vote.** The meeting adjourned at 7:53 p.m.

Matthew Smith, Chairperson

Kelly Haataja, Executive Assistant to
Community Development



City of Brighton

REPORT FROM THE CITY MANAGER TO CITY COUNCIL

JULY 15, 2021

SUBJECT: CONSIDER APPROVAL OF THE PURCHASE OF A NEW COMBINATION VACUUM STREET SWEEPER FROM BELL EQUIPMENT COMPANY IN THE AMOUNT OF \$286,235

BACKGROUND

- Currently, the City of Brighton performs street sweeping services in-house with its own 2007 Elgin vacuum street sweeper. The Public Works Division uses this machine a minimum of twice a week in the spring, summer and fall to remove over 400 yards of debris from our storm sewer collection system annually. Additionally, this vehicle plays an important role in meeting compliance of the City's Municipal Storm Sewer System (MS4) Permit issued through the Department of Environment, Great Lakes and Energy.

ADMINISTRATIVE SUMMARY

- On average, the estimated useful life for a municipal street sweeper is 10 to 12 years old. With our current sweeper at 14 years of age, mechanical breakdowns have become common and very costly. The down time for these repairs has also made it difficult to keep the streets swept on a regular schedule, including the extra sweeping needed for downtown events or emergency use. Unfortunately, the last three years have proven costly with repairs ranging upwards of \$25,000.00 to keep the street sweeper in operation. While Staff is able to perform certain maintenance on the sweeper, there is a time when replacement becomes necessary.
- Before the purchase of a new street sweeper was considered, Staff contemplated having the work performed by a contractor. It was thought that by eliminating a piece of equipment and the labor hours needed to run the machine, the City would find cost savings and free up time for Staff to work on other projects. With that in mind, Staff reached out to a few service providers to get a yearly cost estimate. What Staff found was that contractor costs were drastically higher than the cost of sweeping in-house. Furthermore, the benefit of owning the equipment gives Staff access to the machine when unexpected things, such as when water main break or spill cleanup is necessary.
- In the last month, DPW staff has operated three demonstration vacuum street sweepers to compare performance, ease of use, and safety equipment. All three units had a rear suction hose feature that can be used to clean catch basins, vacuum leaves or clean hard-to-reach areas like curb corners and behind parking blocks. Our current sweeper does not have this feature. When the demonstrations were complete, City Staff met with each supplier and selected the options needed to allow them to provide us a quote. Each one was priced through a competitive bidding contract offered to municipalities. Staff then reviewed the features and pricing and chose the one that would best serve the City.
- Two of the three sweepers demoed have two motors, one to drive the vehicle and one to power the vacuum and sweeper. This means more maintenance and higher costs. The sweeper we prefer, the Elgin model, uses one motor to operate the vehicle and attachments. This is a newer innovation for vacuum sweepers and will save time and money with performing repairs or maintenance on one engine instead of two. Another reason that the Elgin sweeper is preferred over the Southeastern Equipment Company's model is because it did not perform well on heavy material laden areas due to it not having a bottom broom. This model uses vacuum and airflow to pick up debris and, when tested, could not clean problem areas like Grand River and Main Street.

- The table below outlines the three companies that provided Staff with demonstrations and pricing. Pricing from Southeastern Equipment Company was provided through the competitive bid service Sourcewell, MTech's pricing was obtained through the Wayne County RESA CoPro Program, and Bell Equipment Company pricing is from the Omnia Contract in conjunction with the City of Rochester Hills, Contract # RH-16-045.

Combination Vacuum Street Sweeper with Rear Suction Hose Attachment Proposal Analysis			
No.	VENDOR	Cost	Pricing Source
1	Southeastern Equipment Company	\$276,900.00	Sourcewell
2	Bell Equipment Company	\$286,235.00	Omnia, Rochester Hills Contract # RH-16-045
3	M Tech	\$291,614.00	Wayne County RESA CoPro Program

BUDGET INFORMATION

City Council approved \$300,000.00 in the 21/22 fiscal year CIP budget for the purchase of a new vacuum street sweeper. As presented, this unit is \$13,765.00 below the approved budget amount. If approved this evening, the purchase agreement will be reviewed and approved by the City's General Counsel, signed by the City Manager, and the order will be placed.

RECOMMENDATION

Approve the Purchase of a New Combination Vacuum Street Sweeper from Bell Equipment Company in the amount of \$286,235.

Prepared by: Daren Collins, DPW Superintendent

Reviewed by: Marcel Goch, DPS Director

Gretchen Gomolka, Finance Director

- Within Budget
- Budget Amendment Necessary and In Proper Form
- Other _____

City Attorney

- Acceptable Form and Ready to Execute
- Other _____

Reviewed &

Approved by: Nate Geinzer, City Manager



City of Brighton

REPORT FROM THE CITY MANAGER TO CITY COUNCIL

JUNE 17, 2021

SUBJECT: CONSIDER AWARD OF BID TO TITUS WELDING COMPANY FOR THE REBUILD OF RETURN ACTIVATED SLUDGE (RAS) PUMP #3 IN AN AMOUNT NOT TO EXCEED \$143,600

BACKGROUND

The #3 Return Activated Sludge (RAS) Pump was installed as part of the wastewater treatment plant expansion that took place during 2001-2002. This pump is an internal lift pump that “lifts” the return activated sludge that flows from the bottom of Secondary Clarifier #3 to a higher chamber where it can then flow by gravity to Oxidation Ditch #3.

The RAS Pump is one of the pieces of equipment at the plant that operates 24 hours a day, 7 days a week with exception of about eight hours per year when an oil change and other maintenance is performed. In the past year, wastewater staff have increased the maintenance performed on the pump due to the fact that there is an unusual amount of noise emitting from the pump, which is a signal to our operators that the upper and lower bearings need to be replaced.

On March 24, 2021, wastewater staff decided to shut the pump down before any major damage occurs to it. Since this pump works in conjunction with Oxidation Ditch #3, Secondary Clarifier #3, and Tertiary Clarifier #3, all three of the tanks had to be emptied and taken out of service. Wastewater staff are taking the opportunity while this system is down to clean the tanks and perform other maintenance and equipment evaluations. Essentially, one third of the plant capacity has been taken out of service.

ADMINISTRATIVE SUMMARY

According to our NPDES permit issued by EGLE, the capacity of the wastewater plant is 2.25mgd when all tanks are in operation. By shutting down approximately 33 percent of the plant to repair the screw pump, it puts us closer to the pre-expansion flow limit of 1.52mgd making operation of the plant more difficult to operate. Once RAS Pump #3 is repaired, we plan to have the wastewater plant fully back in operation by the end of this summer.

On May 23, 2021, a Request for Proposal (RFP) for the repair of the RAS Pump was published on the Michigan Intergovernmental Trade Network (MITN) using documents approved by the City’s general council. A mandatory pre-bid meeting was held on May 11 with only two contractors attending. Staff was expecting more interest in the project and felt that it would be beneficial to reach out to some of the contractors that received bidding documents to ask why they did not attend. Staff was informed that some contractors could not make the pre-bid meeting due to prior obligations. Wanting to generate more bids for the project, Staff published an addendum to the RFP to offer onsite meetings by appointment. Staff also moved the bid submittal deadline from June 3 to June 10 to allow time for other interested contractors to submit their bid.

On June 10, bids were received from three bidders; however, all of the bids were lacking pricing for a new upper bearing assembly and a new lower roller bearing assembly. Since the bids were incomplete, we reached out to the bidders who all advised that they were still having difficulty obtaining pricing for the new upper bearing assembly and a new lower roller bearing assembly, we decided to extend the bid date once again to July 2 to allow the contractors more time to obtain pricing from the supplier.

During that extension, it became apparent that the pricing for new parts was proving to be extremely difficult to acquire. We have since learned that the companies that would perform the repair work can actually machine/manufacture the parts needed and one of them actually did that on the City's RAS Pump #1 approximately eight years ago. With the new bid due date approaching, we decided to again extend the due date to July 7, to further allow interested contractors time to develop a price for the machining and manufacturing of the parts that may be needed for the upper bearing assembly and lower roller bearing assembly.

A public bid opening was held on July 7 and two bids were received. At this time, we learned that both bidders were able to obtain pricing for new assemblies. In the Bid Analysis table below, Titus Welding Company was the low bidder for replacing the assemblies (\$143,600) and their bid was \$403 above CSM Mechanical for machining the original assemblies (\$92,200).

RAS Pump #3 Rebuild Bid Analysis						
BIDDER	AMOUNT				TOTALS	
	RAS Pump Rebuild	Upper Bearing Assembly	Lower Bearing Roller Assembly	Machining of Original Assemblies	Replacement	Rebuild
Titus Welding Company, Farmington Hills	\$84,700.00	\$38,500.00	\$20,400.00	\$7,500.00	\$143,600.00	\$92,200.00
CSM Mechanical, LLC, Fenton	\$83,300.00	\$44,835.00	\$25,850.00	\$8,497.00	\$153,985.00	\$91,797.00

Staff is recommending awarding the bid to Titus Welding. While their bid was \$403 over CSM Mechanical's for rebuilding the existing assemblies, they are \$10,385 lower for complete replacement of both assemblies. Also, Titus has performed work on our wastewater equipment since the plant was built in 1988, including the recent refurbishment of Oxidation Ditch Rotor #2 last year.

BUDGET INFORMATION

City Council approved \$100,000 in the 2021/2022 CIP Budget to repair this pump. If the bearing assemblies can be rebuilt, the cost will be below the budgeted amount; however, if they need to be replaced, it will cost \$43,600 more than what was budgeted. In this case, Staff is proposing to use funds from previously-approved CIP projects. The budgeted flow meter replacement (\$30,000) and the Phosphorous study on the sand filters at the wastewater treatment plant (\$15,000) can be postponed until next fiscal year if needed. This would provide the additional funding and no budget amendment would be necessary as we would reallocate the budgeted dollars to this project.

RECOMMENDATION

Award the bid for the rebuild, or possible replacement, of Return Activated Sludge (RAS) Pump #3 in an amount not to exceed \$143,600 to Titus Welding Company, as City Council finds accepting the higher bid is in the public interest due to the savings should replacement be warranted.

Prepared by: Corey Brooks, Deputy DPS Director

Reviewed by: Marcel Goch, DPS Director

Gretchen Gomolka, Finance Director

- Within Budget
- Budget Amendment Necessary and In Proper Form

Other _____

Reviewed &

Approved by: Nate Geinzer, City Manager



City of Brighton

REPORT FROM THE CITY MANAGER TO CITY COUNCIL

DATE

SUBJECT: Amendment to Chap. 54 Brighton Code of Ordinances – Open Containers

BACKGROUND

- At the July 1st 2021 meeting, City Council adopted a social district policy. This allows for open consumption of alcohol on the area designated as the “commons area”.
- The City currently has an ordinance preventing the possession of an open container of alcohol in any public areas of the City.

ADMINISTRATIVE SUMMARY

- The proposed amendment to Chap. 54 Brighton Code of Ordinances – Open Containers addresses a minor legal contradiction with the adoption of the social district policy.
- Previously, all open alcohol containers in public spaces were prohibited. However, with the social district policy, this must be amended to exempt the Common Area of the Social District from this ordinance.

RECOMMENDATION

- Consider Approval of Resolution #2021-16 to Introduce First Reading and Set a Public Hearing of August 5, 2021 for Proposed Ordinance Number 596: Amendments to Chapter 54 of the City of Brighton Code of Ordinances

Prepared by: Henry Outlaw, Assistant to the City Manager

Reviewed by: Nate Geinzer, City Manager

City Attorney (Required for all agreements, ordinances, etc.)

Acceptable Form and Ready to Execute

Other _____

Reviewed &

Approved by: Nate Geinzer, City Manager

RESOLUTION NO. _____

**RESOLUTION INTRODUCING ORDINANCE NO. 596 AMENDMENT
TO SECTION 54-199 OPEN CONTAINERS**

At a meeting of the City Council of the City of Brighton, Livingston County, Michigan, held at the City Hall, 200 North First Street, Brighton, Michigan 48116, on the 15th day of July 2021, at 7:30 p.m.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____ and supported by _____.

WHEREAS, pursuant to Resolution No. 2021-15, Resolution Designating a Social District and Defining a Commons Area, adopted July 1st, 2021 by the City Council, the City designated a Commons Area within the designated Social District that allows qualified licensees to sell alcoholic beverages to be consumed within the Commons Area; and

WHEREAS, Section 54-199 of the Brighton City Code prohibits the possession of open bottles or containers containing alcohol in or on any public highway, park, place of amusement, parking area, or any other public place open to the public; and

WHEREAS, the Commons Area defined by Resolution No. 2021-15 includes areas within the public right of way of a public highway, other City owned or managed areas, and other areas that are open to the public; and

WHEREAS, the amendment of Section 54-199 is necessary to exempt the defined Commons Area from those areas wherein open containers of alcohol are prohibited; and

WHEREAS, the public health, safety and welfare will be served by amending Section 54-199.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

1. The City Council hereby introduces Ordinance No. 596 Amendment to Section 54-199 Open Containers attached hereto as **Exhibit A**, and a public hearing shall be set.
2. The City Clerk shall cause notice of introduction and a brief description of the subject and contents of the proposed ordinance, and the date for the public hearing, to be published in a newspaper of general circulation in the City within seven (7) days.
3. Any and all resolutions that are in conflict with this Resolution are hereby repealed to the extent necessary to give this Resolution full force and effect.

YEAS: _____

NAYS: _____

THE RESOLUTION WAS DECLARED ADOPTED.

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting City Clerk of the City of Brighton, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the City Council at a meeting held on the 15th day of July 2021, at 7:30 p.m.

Tara Brown, City Clerk

EXHIBIT A

CITY OF BRIGHTON

ORDINANCE NO. 596

AMENDMENT TO SECTION 54-199 OPEN CONTAINERS

The City of Brighton ordains:

Section 1. Amendment of Section 54-199.

The City of Brighton hereby amends Section 54-199 of Article VII of Chapter 54, Division 1 of the Brighton City Code, entitled “Open Containers” which shall be amended to read, in its entirety, as follows:

Sec. 54-199. Open Containers.

No person shall have in his possession any open bottle or container, containing alcoholic liquor, while such person is on any public highway, park, place of amusement, parking area, or any other public place open to the public, excepting those premises duly licensed for the sale and consumption of alcoholic beverages on the premises, including, but not limited to sidewalk cafes holding permits issued under sections 22-86 et seq., of this Code, and excepting those areas designated by the City Council as a commons area pursuant to MCL 436.1551 as amended, when designated open by resolution of the City Council*.

*As of 7/14/21, the hours of operation as set by City Council by resolution are 12:00 PM to 10:00 PM. Hours subject to change and are posted at City Hall and on the City’s website.

Section 2. Validity and Severability.

Any section or subsection not expressly amended by this Ordinance shall remain in full force and effect. Should any portion of this Ordinance be found invalid for any reason, such holding shall not be construed as affecting the validity of the remaining portions of this Ordinance.

Section 3. Repealer.

All other ordinances inconsistent with the provisions of this Ordinance are hereby repealed but only to the extent necessary to give this Ordinance full force and effect.

Section 4. Effective Date.

This ordinance becomes effective fifteen (15) days after adoption.

Adopted on July 15th, 2021.

Tara Brown, Clerk

Shawn Pipoly, Mayor

I, Tara Brown, City Clerk of the City of Brighton, Michigan, do hereby certify that a summary of Ordinance No. 596 was published in a newspaper of general circulation on the ____ day of _____, 2021.

Tara Brown, Clerk

CITY OF BRIGHTON

NOTICE OF INTRODUCTION AND BRIEF DESCRIPTION

**ORDINANCE NO. 596
AMENDMENT TO SECTION 54-199 OPEN CONTAINERS**

To the residents and property owners of the City of Brighton, Livingston County, Michigan, and all other interested persons:

On July 15th, 2021, the City of Brighton (the "City") introduced Ordinance No. 596 Amendment to Section 54-199 Open Containers. The following is a brief description of the subject and contents of the Ordinance:

On July 1st, 2021, the City Council adopted Resolution No. 2021-15 and thereby designated a Social District and Commons Area as permitted by Section 551 of the Michigan Liquor Control Code. The proposed Ordinance would amend Section 54-199 of Article VII of Chapter 54, Division 1 of the City of Brighton Code of Ordinances to permit open containers of alcohol in those areas defined as a Commons Area by the City Council pursuant Resolution No. 2021-15 when the Commons Area is designated open by the City Council.

A copy of the proposed Ordinance, including all exhibits, is available for inspection at the City Hall, 200 North 1st Street, Brighton, MI 48116.

Tara Brown, City Clerk
Brighton City Hall
200 North 1st Street
Brighton, MI 48116

RESOLUTION NO. _____

**RESOLUTION ADOPTING ORDINANCE NO. 596 AMENDMENT
TO SECTION 54-199 OPEN CONTAINERS**

At a meeting of the City Council of the City of Brighton, Livingston County, Michigan, held at the City Hall, 200 North First Street, Brighton, Michigan 48116, on the 5th day of August 2021, at 7:30 p.m.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____ and supported by _____.

WHEREAS, pursuant to Resolution No. 2021-15 Resolution Designating a Social District and Defining a Commons Area, adopted July 1st, 2021, by the City Council, the City designated a Commons Area within the designated Social District that allows qualified licensees to sell alcoholic beverages to be consumed within the Commons Area; and

WHEREAS, Section 54-199 of the Brighton City Code prohibits the possession of open bottles or containers containing alcohol in or on any public highway, park, place of amusement, parking area, or any other public place open to the public; and

WHEREAS, the Commons Area defined by Resolution No. 2021-15 includes areas within the public right of way of a public highway, other City owned or managed areas, and other areas that are open to the public; and

WHEREAS, the amendment of Section 54-199 is necessary to exempt the defined Commons Area from those areas wherein open containers of alcohol are prohibited; and

WHEREAS, Ordinance No. 596 Amendment to Section 54-199 Open Containers was introduced on July 15th, 2021 and a public hearing held on August 5th 2021.

WHEREAS, the public health, safety and welfare will be served by amending Section 54-199.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

4. The City Council hereby adopts Ordinance No. 596, Amendment to Section 54-199 Open Containers attached hereto as **Exhibit A**.

5. The Ordinance shall be filed with the City Clerk.

6. The City Clerk shall publish notice of adoption in a newspaper of general circulation in the City within ten (10) days.

7. The City Manager shall cause the amendment adopted by Ordinance No. 596 to be codified in the Brighton City Code.

8. Any and all resolutions that are in conflict with this Resolution are hereby repealed to the extent necessary to give this Resolution full force and effect.

9. All resolutions or portions of resolutions that are inconsistent with this Resolution are hereby repealed.

YEAS: _____

NAYS: _____

THE RESOLUTION WAS DECLARED ADOPTED.

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTON)

I, the undersigned, the duly qualified and acting City Clerk of the City of Brighton, Livingston County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of certain proceedings taken by the City Council at a meeting held on the ___ day of _____, 2021, at 7:30 p.m.

Tara Brown, City Clerk

EXHIBIT A

CITY OF BRIGHTON

ORDINANCE NO. 596

AMENDMENT TO SECTION 54-199 OPEN CONTAINERS

The City of Brighton ordains:

Section 1. Amendment of Section 54-199.

The City of Brighton hereby amends Section 54-199 of Article VII of Chapter 54, Division 1 of the Brighton City Code, entitled "Open Containers" which shall be amended to read, in its entirety, as follows:

Sec. 54-199. Open Containers.

No person shall have in his possession any open bottle or container, containing alcoholic liquor, while such person is on any public highway, park, place of amusement, parking area, or any other public place open to the public, excepting those premises duly licensed for the sale and consumption of alcoholic beverages on the premises, including, but not limited to sidewalk cafes holding permits issued under sections 22-86 et seq., of this Code, and excepting those areas designated by the City Council as a commons area pursuant to MCL 436.1551 as amended, when designated open by resolution of the City Council*.

*As of 7/14/21, the hours of operation as set by City Council by resolution are 12:00 PM to 10:00 PM. Hours subject to change and are posted at City Hall and on the City's website

Section 2. Validity and Severability.

Any section or subsection not expressly amended by this Ordinance shall remain in full force and effect. Should any portion of this Ordinance be found invalid for any reason, such holding shall not be construed as affecting the validity of the remaining portions of this Ordinance.

Section 3. Repealer.

All other ordinances inconsistent with the provisions of this Ordinance are hereby repealed but only to the extent necessary to give this Ordinance full force and effect.

Section 4. Effective Date.

This ordinance becomes effective fifteen (15) days after adoption.

Adopted on August 5th, 2021.

Tara Brown, Clerk

Shawn Pipoly, Mayor

I, Tara Brown, City Clerk of the City of Brighton, Michigan, do hereby certify that a summary of Ordinance No. 596 was published in a newspaper of general circulation on the ____ day of _____, 2021.

Tara Brown, Clerk

CITY OF BRIGHTON
NOTICE OF ADOPTION
ORDINANCE NO. 596
AMENDMENT TO SECTION 54-199 OPEN CONTAINERS

To the residents and property owners of the City of Brighton, Livingston County, Michigan, and all other interested persons:

On August 5th, 2021, the City of Brighton (the "City") adopted Ordinance No. 596 Amendment to Section 54-199 Open Containers. A true copy of the Ordinance, including all exhibits, is available for inspection at the City Hall, 200 North 1st Street, Brighton, MI 48116.

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Tara Brown, City Clerk
Brighton City Hall
200 North 1st Street
Brighton, MI 48116